



Historic District Commission MEETING AGENDA

Monday, March 9, 2026 - 6:00 PM
Council Chambers, Easton Town Office
14 S Harrison Street

Call to Order

- 1) Approval of the Agenda for March 9, 2026.

Old Business

- 1) **Application Number:** 2026 - 1631 / HD 26 - 07
Applicant: Callahan Signs
on behalf of Maury Donnelly & Parr, Inc
16 N. Washington Street
Tax Map 0103, Grid 00EA, Parcel 1212
Location:
Zoning District: CB
Historic Status: Contributing
Request: Installation of a 25"x27" double-sided PVC hanging sign.
- 2) **Application Number:** 2025 - 1577 / HD 25 - 101
Applicant: Anne Decker Architects
on behalf of Caroline Dalton
7 Brookletts Avenue
Tax Map 0104, Grid 00EA, Parcel 1972
Location: R-10A
Zoning District:
Historic Status: Contributing
Request: Amendment to a previously approved Certificate of Appropriateness (COA) for the replacement of all windows. The Applicant is now requesting a two over two window design.

On October 14, 2025 the Commission granted a COA for various exterior alterations including the replacement of all windows and shutters, the replacement of the front door, the replacement of the exterior access stairs, and the replacement of all asphalt shingle roofs with slate shingles.

3) **Application Number:** 2025 - 1404 / HD 25 - 15
Applicant: Christian Chute, AIA
on behalf of Carstairs Row LLC
Location: 107 & 109 S. Washington Street
Tax Map 0104, Parcels 1985 & 1986,
Lot 2B
Zoning District: CB
Historic Status: Contributing (T-10)
Request: Amendment to a previously approved
Certificate of Appropriateness (COA) for
the replacement of the second floor
windows.

On June 10, 2024, the Commission granted a COA for the demolition of the contributing rear addition at 109 S. Washington Street and the construction of a new addition (application 2024-1173). On March 10, 2025, the Commission granted a new COA for a scaled back version of the project and various exterior renovations (application 2025-1404).

New Business

1) **Application Number:** 2026 - 1642 / HD 26 - 14
Applicant: MJH Construction, LLC
on behalf of Moon River Investments,
LLC
Location: 33 S. Harrison Street
Tax Map 0104, Grid 00EA, Parcel 1519
Zoning District: CB
Historic Status: Contributing
Request: Replacement of the roof, windows,
siding and doors.

2) **Application Number:** 2026 - 1644 / HD 26 - 15
Applicant: Huntington Construction LLC
on behalf of Peter and Janet Doyle
Location: 207 S. Aurora Street
Tax Map 0105, Grid 00EA, Parcel 2143
Zoning District: R-10A
Historic Status: Contributing
Request: Construction of a 12' x 14' porch
addition.

- 3) **Application Number:** 2026 - 1654 / HD 26 - 18
 Applicant: Shore Projects LLC
 on behalf of For All Seasons Inc.

 Location: 111 E. Dover Street
 Tax Map 0104, Grid 00EA, Parcel 1193

 Zoning District: CB
 Historic Status: Contributing
 Request: Exterior renovations including the
 replacement of the siding, windows, and
 rear staircase and ramp.

Discussion Item

Election of Officers

- 1) Annual Election for Chairperson and Vice Chairperson.

Approval of Minutes

- 1) Approval of the Draft Decision Summary from the January 12, 2026 Meeting.

2) Approval of the Draft Decision Summary from the February 9, 2026 Meeting.

Administrative Approval

- 1) **Application Number:** 2026 - 1662 / HD 26 - 23
 Applicant: Precision Exteriors
 Location: 218 N. Aurora Street
 Tax Map 0103, Grid 00EA, Parcel 0683

 Zoning District: R-7A
 Historic Status: Contributing
 Request: In-kind asphalt shingle roof
 replacement.

Consent Docket

- 1) **Application Number:** 2026 - 1656 / HD 26 - 19
 Applicant: Marasun LLC
 on behalf of Peter Spencer

 Location: 213 Davis Avenue
 Tax Map 0105, Grid 00EA, Parcel 2200

 Zoning District: R-7A

Historic Status:
Request:

Contributing
In-kind asphalt shingle roof replacement, and emergency approval for the in-kind replacement of the gutters and fascia (as per the Historic District Commission Chairperson).

2) Application Number:
Applicant:
Location:

2026 - 1658 / HD 26 - 20
Kaufmann Enterprises LLC
106 N. Washington Street
Tax Map 0103, Grid 00EA, Parcel 0624
CB

Zoning District:
Historic Status:
Request:

Non contributing
Emergency approval for the in-kind replacement of the TPO roof (as per the Historic District Commission Chairperson).

Adjournment



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 02/23/2026

Staff Contact: Nicholas Johnson, AICP - Town Planner, njohnson@eastonmd.gov

Property Address: 16 N. Washington Street

Applicant: John Callahan on behalf of 16 N Washington St LLC.

Application Number: 2026-1631

Code Enforcement Case: Yes No

Project Description:

The applicant is proposing to install a 25” by 27” (4.7 square foot) hanging sign on the front facade of the structure. The sign will be constructed of PVC and mounted to the building via an existing metal bracket.

Historic District Guidelines:

Guideline 25. General Guidelines for Signage

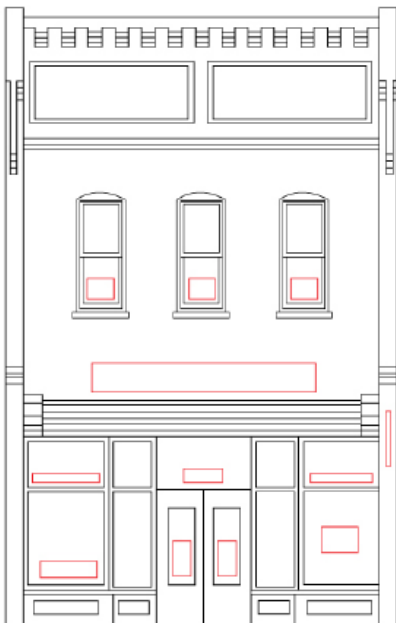


Figure 1

- a. Avoid covering or obscuring architectural features.
- b. Mount signs in a way that does not damage historic fabric. For example, connections for wall-mounted signs should be through a mortar joint rather than a masonry unit.
- c. Integrate signs to the overall building composition. Locate signs in a way that emphasizes architectural features of the building. Use the shapes and sizes of signs to reinforce the directional expression or visual façade divisions.
- d. Limit the overall number of signs to avoid a cluttered appearance that competes with the building’s historic character.
- e. Signs should be placed in locations on building that are traditionally used for signs.

Guideline 31. Hanging and Bracket Signs

- a. Utilize existing sign brackets where possible.



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

- b. Mount hanging and projecting signs to a masonry building with connections through the mortar joints rather than through brick or stone units to the greatest extent possible.
- c. The bracket itself should contribute to the overall design of the hanging sign and may be decorative in character. Avoid overly ornate styles that are not in keeping with the historic features of the building.
- d. Hanging signs should be mounted perpendicular to the façade and should have a minimum clearance of 8'-0" above the sidewalk and be recessed a minimum of 1'-0" behind the plane of the curb.**
- e. Hanging signs should have a maximum area of 8 square feet per face.
- f. Avoid nationally or regionally distributed signs, or vacuum formed signs that are not in keeping with the character of the building.
- g. Avoid internally lighted signs, or those that use flashing or moving illumination
- h. Illumination of hanging signs should be external and be shielded to protect pedestrians and motorists from glare

Background Information:

On June 9, 2025 the Commission approved the installation of a similar hanging sign at this location (*Figure 2*). Given the configuration of this building and the number of signs requested, the Planning Commission reviewed this request and approved the sign as proposed. The bracket for this sign needed to be moved up in order to accommodate the required eight feet of clearance between the sign and the sidewalk.

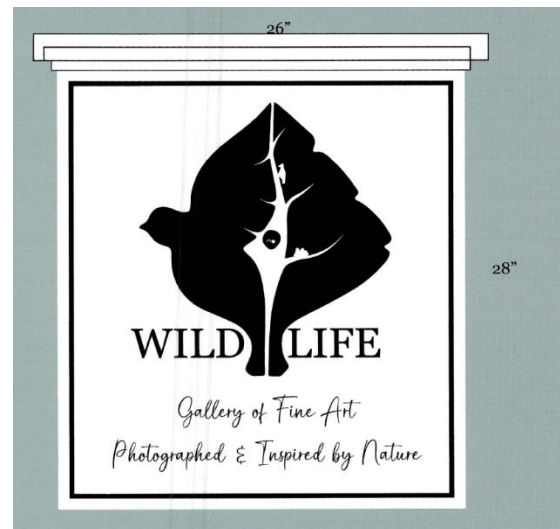


Figure 2 Previously Approved Signage

Staff Recommendation:

Staff supports a **conditional approval** of this application by the Commission. In order to comply with the Zoning Ordinance requirements for signage on buildings with multiple businesses accessed by a common entrance, the Planning Commission must approve the sign's placement and size. In addition, the bracket may need to be raised to provide the required eight feet of clearance between the bottom of the sign and the sidewalk. Consistent with the HDC Guidelines, all bracket connections must be installed through mortar joints.



Recommended Conditions:

1. The hanging sign shall be mounted with connection through a mortar joint.
 2. The applicant shall obtain approval from the Planning Commission.
 3. The top of the sign shall be aligned with the hanging sign that was approved by the Historic District Commission in 2025 (#25 - 1469)
-

Draft Motions:

1. I move that the Historic District Commission **approve** the application with staff's recommended conditions.

OR

2. I move that the Historic District Commission deny the application based on the following findings...

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101003526		16 N WASHINGTON ST		WASHINGTON STREET PLAZA LLC			
YEAR BUILT		PHYSICAL CONDITION					
1900		VERY GOOD-ALTERED					
ARCHITECTURAL STYLE				ADDITION(S)			
ITALIANATE INFLUENCE				NONE APPARENT			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B	T-405	Y	
NOTES							
NICELY DETAILED 2 PART COMMERCIAL BLOCK BUILDING. MODERN 1ST FLOOR ENTRY AND WINDOWS.							



TOWN OF EASTON
Planning & Zoning Department
P.O. Box 520
Easton, Maryland 21601

February 20, 2026

John Callahan
Callahan Signs
511 Hollyday Street
Easton, Maryland 21601

Re: Application 2026 - 1631
16 N. Washington Street - MDP Insurance
Tax Map 0103, Grid 00EA, Parcel 1212
Easton, Maryland 21601

Mr. Callahan,

At their regularly scheduled meeting on February 19, 2026, the Town of Easton Planning Commission (Commission) reviewed the above-referenced application to request signage approval where two (2) or more businesses occupy one (1) building with a common entrance (16 N. Washington Street).

The Commission voted 4 - 0 to approve the signage request with the following conditions:

1. The Applicant shall align all three (3) scroll brackets and provide the required eight (8) feet of clearance between the sidewalk and the bottom of the proposed and existing signs.
2. The Applicant shall obtain a building permit for the installation of the sign.

Any person aggrieved by this decision may, within thirty (30) days of the Planning Commission's decision, file an appeal with the Town Planner and with the Board of Zoning Appeals specifying the grounds thereof. Should you have questions concerning the above finding, please contact this office at 410-822-1943.

Sincerely,

Samantha N. Smith

Samantha N. Smith, Administrative Specialist
Planning & Zoning Department
410-822-1943 ssmith@eastonMD.gov

CC: Maury Donnelly & Parr, Inc.



RECEIVED

HD 26 - 07

JAN 13 2026

TOWN OF EASTON
PLANNING AND ZONING TOWN OF EASTON
14 SOUTH HARRISON STREET, EASTON, MD 21601

Table with application details: Application #: 2026 - 1631, Date Received: 01/13/2026, Fee Paid: \$75.00, HDC Meeting Date: 01/26/2026, Date Property Posted: 01/21/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE (PLEASE CIRCLE)

Form with application type options: ROOFING, DEMOLITION, SIGNAGE (circled), FENCING, OTHER, NEW CONSTRUCTION/ADDITION, EXTERIOR ALTERATIONS, FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

Form with address: 16 N Washington, Contributing/Non-Contributing checkboxes, YEAR BUILT: 1900, NATIONAL REGISTRAR #

PROPERTY INFORMATION

Form with owner name: 16 North Washington St LLC, TELEPHONE NO., EMAIL

Applicant or Agent

Form with name: Callahan Signs / John Callahan, TELEPHONE NO., EMAIL

Description of Proposal (include additional sheets, as necessary)

Text box describing proposal: Sign is for MDP Insurance. 25" x 27" hanging sign to hang off existing scroll bracket on building. Double sided sign will be 3/4" PVC with vinyl prints and trim at top.

Specific Requirements

- List of requirements: The payment of fees is due at the time of application submittal. As of December 27, 2022, the fees are as follows: Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25. Provide 2 hard copies plus 1 digital copy of the application and all supplemental information. Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions. Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent, Date (1/13/26), Printed Name of Applicant or Agent (John Callahan)

Revised 4.4.2022

25"



27"





Samantha Smith <ssmith@eastonmd.gov>

Re: Office Sign for MDP Permit Acknowledgement 16 N. Washington Street

Joslyn Bredholt

Tue, Jan 13, 2026 at 11:23 AM

To: Callahan Signs , Casey Grieves

Cc: "ssmith@eastonmd.gov" <ssmith@eastonmd.gov>

Good Morning,

Yes, we have requested Callahan Signs to submit the permit on our behalf. In order to hang a sign at our business.

Thank you,

Joslyn Bredholt | Director of Marketing

Maury, Donnelly & Parr, Inc. | 10150 York Road, Suite 420, Cockeysville, MD 21030



[Quoted text hidden]



**TOWN OF EASTON
PLANNING & ZONING**
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 03/09/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 7 Brookletts Avenue

Applicant: Anne Decker Architects on behalf of Caroline Dalton

Application Number: 2025-1577

Code Enforcement Case: Yes No

Project Description:

The applicant is proposing revisions to a previously approved certificate of appropriateness (*See Background*). The proposal is to replace all the existing one over one windows with SDL wood windows configured as a two over two design.

Background:

At the Commission’s October 14, 2025 meeting, a COA was issued for various site improvements and alterations to the contributing structure. The approved alterations to the structure included demolishing a rear deck/sunroom to construct a new addition, the in-kind replacement of the existing one over one windows, the installation of a new front door with sidelights, and the installation of a widow’s walk on the flat roof. This application was approved with a condition regarding the height and location of proposed fencing.

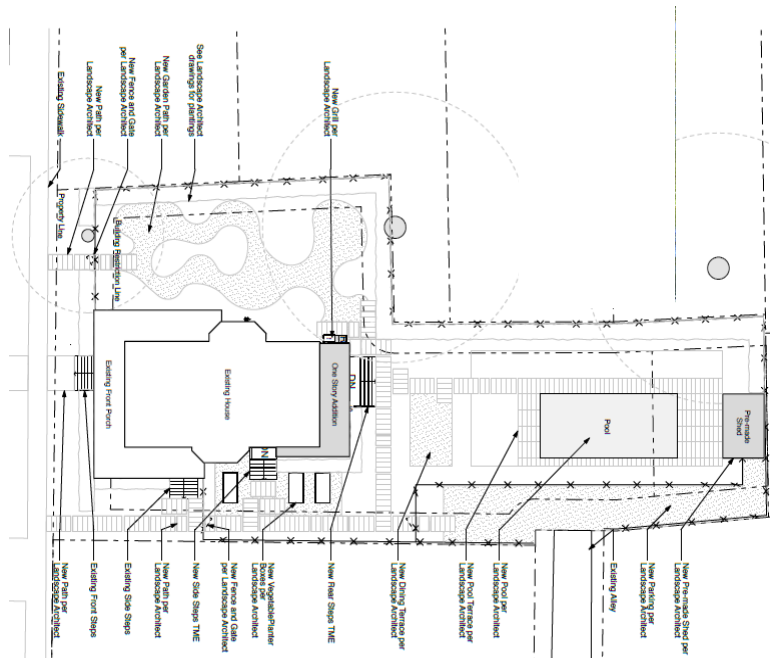


Figure 1 Approved Site Plan



**TOWN OF EASTON
PLANNING & ZONING**
14 S Harrison Street, Easton MD 21601

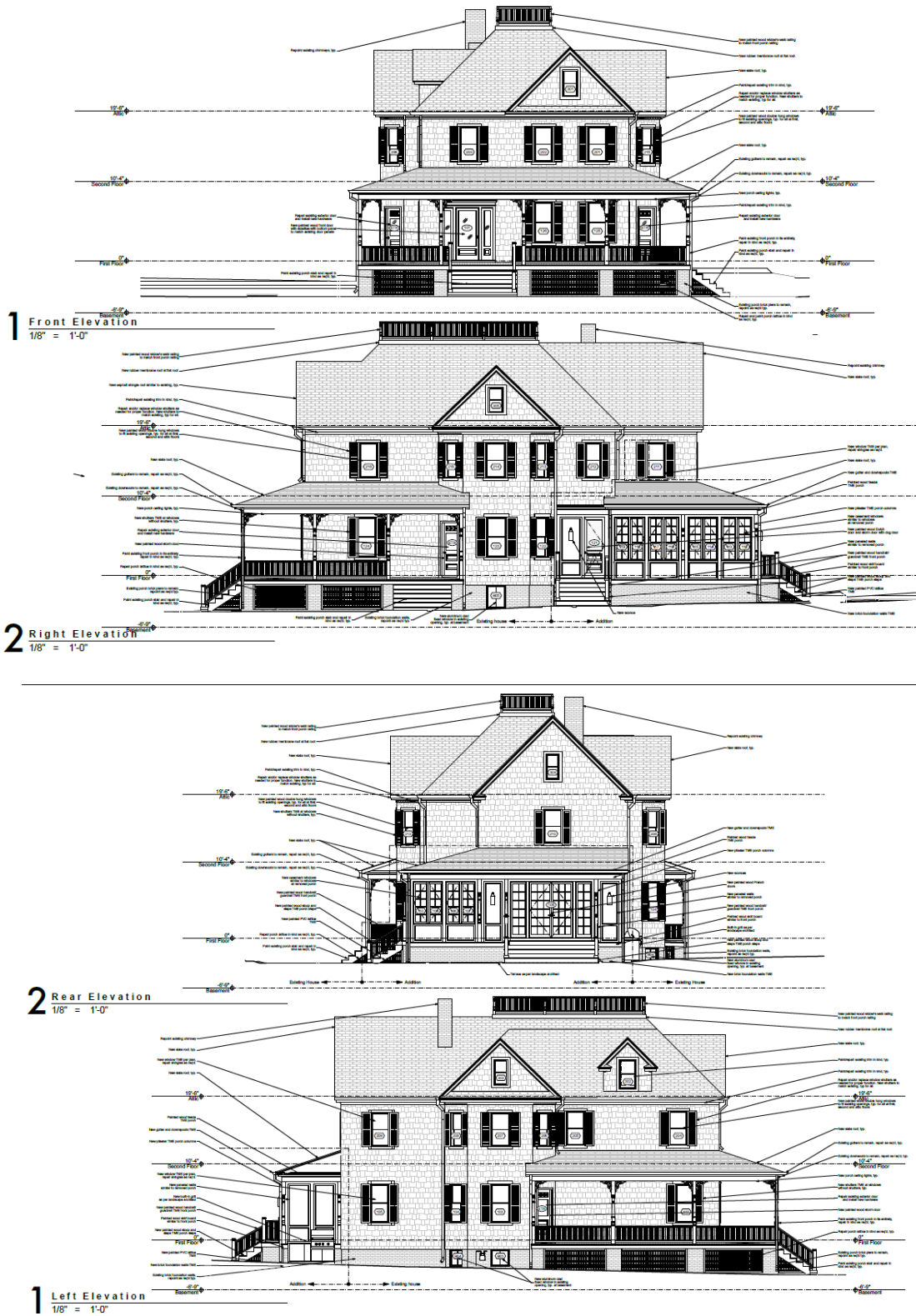


Figure 2-5: Approved Elevations



Historic District Guidelines (Structure):

Guideline 1. Preserve Significant Historic Features

- a. Avoid the removal of historic architectural features and materials. Historic architectural features include large scale characteristics including the building's overall shape, roof form, and fenestration patterns, as well as small-scale features like moldings, brackets, ornaments, and other examples of skilled craftsmanship.
- b. Retain existing historic building materials, including brick and stone masonry, wood shingles and siding, stucco, etc., to the greatest extent possible. Avoid removing historic materials that are in serviceable condition.
- c. Materials or additions which were added after the building's initial construction – for example a porch, or a kitchen addition – may have since achieved historic significance in their own right and should be preserved.

Guideline 2. Repair Rather than Replace

- a. Repair rather than replace historic features wherever possible.
- b. Use the recommended technical procedures for cleaning, refinishing, and repairing historic materials. See Appendix D for technical resources. Some cleaning methods, including chemical and abrasive methods, and repair techniques can cause or exacerbate damage to historic materials of the building, particularly masonry. Always use the gentlest methods available.

Guideline 3. Make Sensitive Replacements

- a. Replace as little historic material as possible. This may include patching, splicing, or piecing-in replacement materials such as individual roofing tiles, shingles, or siding, masonry patches, or dutchman repairs for wood elements.
- b. Match the historic feature's size, shape, profile, texture, and color to the greatest extent possible. The new materials should match the old when possible. In some cases, replacement with features recreated in synthetic materials may be appropriate (for additional information on substituting historic materials, see Appendix B).



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

- c. Avoid changing the character of historic features. For example, original horizontal board siding should not be replaced by vertically oriented siding or shingles, even of the same material.
- d. Substitute materials should only be used if they do not cause damage or change the character of the historic resource. The new material should match the form, color, and texture of the historic feature (for additional information on substituting historic materials, see Appendix B).

Guideline 89. Maintain Historic Windows

- a. Maintain the historic shape, size, alignment, pattern, and details of existing historic windows. Where altered, consider restoring to its historic appearance based on physical or documentary evidence.
- b. Do not infill window openings or cover existing historic windows.
- c. Consider reopening windows that are presently blocked or boarded over.
- d. Repair damaged or deteriorated windows. This may include replacing broken panes, sanding and repainting, or oiling operable components such as locks and chains.
- e. Replace missing window elements, such as hardware or trim, in-kind.
- f. Do not cover or wrap window trim or sills. Metal and vinyl coverings retain moisture and accelerate deterioration of wood and masonry elements.
- g. Fix drafty windows by replacing weather stripping and ensuring that the window is well-fitted to the window opening. Add storm windows to provide a thermal break, if needed. Storm windows are a cost-effective alternative to replacing historic windows.

Guideline 90. Make Sensitive Replacements (Windows)

- a. Replace windows that cannot be repaired in-kind. Replacement windows must match the original windows in size, proportion, design, and style. The number of windowpanes and the muntin and mullion profiles should match the historic window.**
- b. Replacement units for historic divided light (multi-pane) windows must have the appearance of a true divided light. Simulated divided light windows with three dimensional muntins are usually appropriate. “Snap-in” or “between-the-glass” vinyl



**TOWN OF EASTON
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14 S Harrison Street, Easton MD 21601**

muntins do not simulate a historic appearance and will not be approved for windows within the historic district.

c. Maintain the window type. For example, replacing a double-hung window with a casement window is not preferred.

d. Maintain the historic window opening size and surrounding trim. Altering the window opening to accommodate larger or smaller windows is not preferred.

e. Where inappropriate replacements were previously installed, and the original window appearance is unknown, neighboring buildings may provide clues to appropriate configurations. In general, a style of window that is in keeping with the architectural style of the building is most appropriate. Where the style of window cannot be determined, a one-over-one window configuration is usually most appropriate.

f. Windows constructed of hollow core or extruded vinyl components should not be used. Other alternative materials, including fiberglass composite or aluminum-clad, may be appropriate in some circumstances. See Appendix B for additional information on substitute materials.

g. Certain rare or unique windows should not be replaced or altered. This determination will be made by the HDC.

Guideline 91. Shutters

a. Shutters are appropriate for windows on some residential buildings, and in some cases, on the upper stories of commercial properties.

b. Restore or replace missing original shutters with appropriate replacement units based on physical or documentary evidence.

c. Shutters, even when non-operable, should be sized to cover the window if closed, and shall maintain accompanying, historically appropriate hardware (except for hinges).

d. Paintable, smooth-finished, composite materials and wood are appropriate materials for replacement shutters. Vinyl is not appropriate.

Guideline 93. Sills, Lintels, and Frames

a. Retain original sills, frames, lintels, and associated window trim and ornamentation.

b. Do not wrap sills or frames in any materials (sheet metal, vinyl, etc.).



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

- c. Avoid adding details, surrounds, shutters, ornamentation and other features that have no historical basis and are not in keeping with the character of the original window.
- d. When historic sills, lintels, surrounds, or trim requires replacement, it should be made in-kind using the same or similar material and replicating the form, profile, color, and texture of the original unit.

Staff Analysis:

The proposal to replace the existing one-over-one windows with two-over-two windows appears to conflict with Guideline 90a. If the existing windows have deteriorated beyond repair, this guideline calls for replacement with one-over-one windows of the same size, proportion, design, and style. Guideline 90e further notes that a one-over-one configuration is generally the most appropriate.

If the Commission determines that the existing windows are themselves inappropriate replacements, Guideline 90e indicates that neighboring buildings may help inform an appropriate window configuration. In this case, the building to the west (146 South Washington Street) features two-over-two windows, while the structure to the east (9 Brookletts Avenue) contains one-over-one windows.

Draft Motions:

1. I move that the Historic District Commission **approve** the application based on the finding that the proposed window style is appropriate given the architectural style of the structure and the surrounding context.

OR

2. I move that the Historic District Commission **deny** the application based on the finding that the proposal is inconsistent with Guidelines 90a and 90e.

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101015990		7 BROOKLETTS AVE		MORRELL, IAN M.			
YEAR BUILT		PHYSICAL CONDITION					
1910		EXCELLENT					
ARCHITECTURAL STYLE				ADDITION(S)			
QUEEN ANNE				NONE			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
TRAY ROOF FRONT BLOCK WITH SIDE GABLE REAR BLOCK. EAVES OF REAR BLOCK RETAINS DECORATIVE WOODWORK GLAZED AND PANEL FRONT DOOR APPEARS HISTORIC. WOODEN SHINGLES ON EXTERIOR WALLS. NO OUTBUILDINGS.							

EXTERIOR

7 Brooklets Ave, Easton, MD February 27, 2025

Report No. 14247

homeprochesapeake.com

SUMMARY HI

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

Implication(s): Chances of water damage to structure, windows, finishes and contents | Material deterioration

Task: Repair/replace

Cost: Major



18. Rot



19. Rot



20. Moisture damage



21. Moisture damage



5 South Street



13 South Street



2 Brookletts Avenue



146 S. Washington Street



114 S. Harrison Street



115 S. Harrison Street



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 10/14/2025
Application Number: 2025-1577
Location: 7 Brookletts Avenue
Applicant: Anne Decker Architects on behalf of Caroline Dalton

Request: The Applicant is seeking approval for various exterior alterations. The proposed site improvements include the installation of new private walkways, a reconfigured parking area, and the addition of a swimming pool and a pre-fabricated shed. Other exterior alterations include new wood privacy fencing, the repair or replacement of all existing shutters, and the replacement of existing double-hung windows in-kind. The basement windows will be replaced with new aluminum-clad windows, and an exterior basement access will be removed. A new front door with sidelites will be installed, and the existing asphalt shingle roof will be replaced with slate. Additionally, a rear deck and sunroom will be demolished to construct a new one-story addition. A railing will be installed for a widow's walk on the flat roof, and the masonry will be repointed.

The Applicant amended the application to state that the fence and shrubs will not exceed four (4) feet in height between the front facade of the house (not the porch as originally proposed) and Brookletts Avenue.

Commissioner Stuart moved to **approve the amended application as submitted.**
 Commissioner Bateman seconded the motion.

4 - Demby, Brophy, Bateman, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

In the event that any party is aggrieved by a decision of the Commission, the party has the right of appeal to the Board of Zoning Appeals in accordance with Article XIII of the Zoning Code. Appeal requests must be filed within thirty (30) days from the date of the Commission decision. Further appeal may be taken to the Circuit Court for Talbot County.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

10/28/2025

 Date



TOWN OF EASTON
 PLANNING AND ZONING
 14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #: 2025 - 1577
Date Received: 12/08/2025
Fee Paid: -
HDC Meeting Date: 12/22/2025
Date Property Posted: 12/15/2025

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS **7 Brookletts Avenue**

Contributing Non-Contributing YEAR BUILT: **1910** NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME **Caroline Dalton**

TELEPHONE NO. _____ EMAIL _____

Applicant or Agent

NAME **Anne Decker Architects**

TELEPHONE NO. _____ EMAIL _____

Description of Proposal (include additional sheets, as necessary)

See attached sheet.

Specific Requirements

- The payment of fees is due at the time of application submittal.
 As of December 27, 2022, the fees are as follows:
 Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent	
Date	
Printed Name of Applicant or Agent	



Historic District Commission Application Checklist

Revised December 2022

Please complete the section that applies to your application. If a checklist item is not included or is non-applicable, please provide information supporting its omission for the Commission's consideration.

Requirements:

The payment of fees is due at the time of application submittal. As of December, 2022, the fees are as follows: **Commercial - \$200, Residential - \$75, Signs - \$75, Staff Approval - \$25.**

The application submitted shall include 2 copies plus 1 digital.

All Applications to Include:

- A narrative fully explaining the request
- Photographs of all existing conditions and that will be affected by the proposed project
- Description of all existing materials and a listing of all materials to be used for proposed project.
- Manufacturer cut-sheets and material specifications related to all proposed work.
- Any available and applicable historical photographs, sketches or other documentary evidence illustrating previous conditions and configurations of the building(s)

New Construction / Addition

- Dimensioned elevations drawn to an appropriate scale illustrating all sides of the proposed structure. Drawings shall include notations outlining roof pitches, trim details and the type of windows and doors to be used for the project
- Site plan drawn to an appropriate scale and including setbacks and neighboring structures. Site Plan should illustrate the footprint(s) of all proposed EXISTING AND PROPOSED construction.
- Construction schedule **Unknown until approved scope has been decided.**
- For new construction only, the Commission will require a three-dimensional rendering, superimposed photo, silhouette or model of the proposed structure, other structure(s) located on the subject property and neighboring structures when necessary to understand the visual impact of the new construction and its compliance with the Guidelines.

Renovations

- Elevations or photographs of the existing conditions
- Elevation of the proposed changes
- Cut sheet for all proposed materials – Be sure to include all of the following that apply and any other additional materials:
 - Windows
 - Doors
 - Trim, fascia, soffit, etc
 - Decking/ porch flooring materials
 - Roofing Materials, gutters

Windows

Restoration of existing windows is the Commission's first choice. However, the Commission recognizes it may not always be practical to replace windows. For contributing buildings the front façade and any other façade facing a primary right of way are required to be wood windows. Aluminum, or fiberglass clad wood windows may be approved by the Commission on side or rear façades of contributing buildings. For non-contributing buildings clad wood windows will be considered on all elevations. Note: National Register Buildings are held to the highest of standards.

- Photograph or scaled elevation of all elevations of the building with each window that is to be replaced clearly labeled.
- Manufacturer's cut sheet for each window to be replaced. Clearly labeled where it will be installed on the building.
- Materials for the windows must be clearly identified on the cut sheet
- Please note if existing trim/shutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Roofing

Note: National Register Buildings are held to the highest of standards.

- Photographs or scaled elevations showing the existing roofing material to be replaced.
- Manufacturer's cut sheet for each type of roofing to be replaced. Clearly labeled where it will be installed on the building.
- Please note if existing trim, fascia, soffit, or gutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Signs

- Dimensioned scale drawings of the sign. Identify all materials to be used, color(s), lettering (including size and font style) and wording
- Photograph depicting the proposed location for the signage
- Lighting detail
- Construction and or mounting details

Landscaping & Trees

- Landscape plan where existing and proposed landscape features to be installed/planted, removed and/or relocated are identified including the location and species of existing and new trees

Fence

- Application must include:
 - A Site plan :
 - Drawn to scale
 - Show and label the location of new and any existing fence. (this can be completed on two separate site plans for clarity)
 - Include location of neighboring structures
 - Identify height of proposed fence, location of gates and other openings
 - If the height or style of fence changes based on location, this must be clearly identified.
 - Proposed fence style and material
 - Include photograph, manufacturer cut-sheet of the fence, or detailed sketch of proposed fence.
 - other relevant construction and or material detail

Demolition

The Historic District Commission (HDC) reserves the right to request a professional inspection of the structure(s). Said request may include evaluation by a historic preservation specialist.

- Elevations and photographic documentation of all elevations of the structure(s) to be demolished including footprint dimensions, height dimensions and a site plan illustrating location of the structure(s) to be demolished
- Structural Analysis by Structural Engineer or Licensed Architect
- For Economic Hardship please provide documentation. Reference Guideline 13.9
- Attach replacement plan

Other

- Attach all documentation supporting request

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.

If the applicant or their designee is not present for the scheduled HDC meeting, the Commission may elect to refrain from discussing and voting on the scheduled agenda item.

This checklist shall be submitted along with the completed Historic District Commission Application and all additional supporting information.

September 29, 2025

7 Brookletts Avenue

Easton, MD

Historic Submission Project Description:

- Paint exterior of house, including trim and porches.
- New front porch ceiling lighting to replace existing.
- Repair / replace shutters at all windows and install with new shutter hardware.
- Replace all windows at first, second and attic floors with double paned SDL wood windows. Sizes and shapes to match existing unless otherwise noted on drawings.
- Replace leaking windows at basement level with new double paned clad windows.
- Remove all non-historic storm doors.
- Replace front door with new solid wood and glass door and sidelites.
- Remove basement exterior access stairs that are not secure and leak air and water into house.
- Replace all asphalt shingle roofs with slate shingles.
- Add widow's walk railing to flat roof with details to match existing front porch.
- Remove rear deck and sun porch and replace with new one-story addition using details similar to house.

Construction schedule are unknown at this time. Once approvals have been given, the project scope and timelines will be finalized.

December 8, 2025

7 Brookletts Avenue

Easton, MD

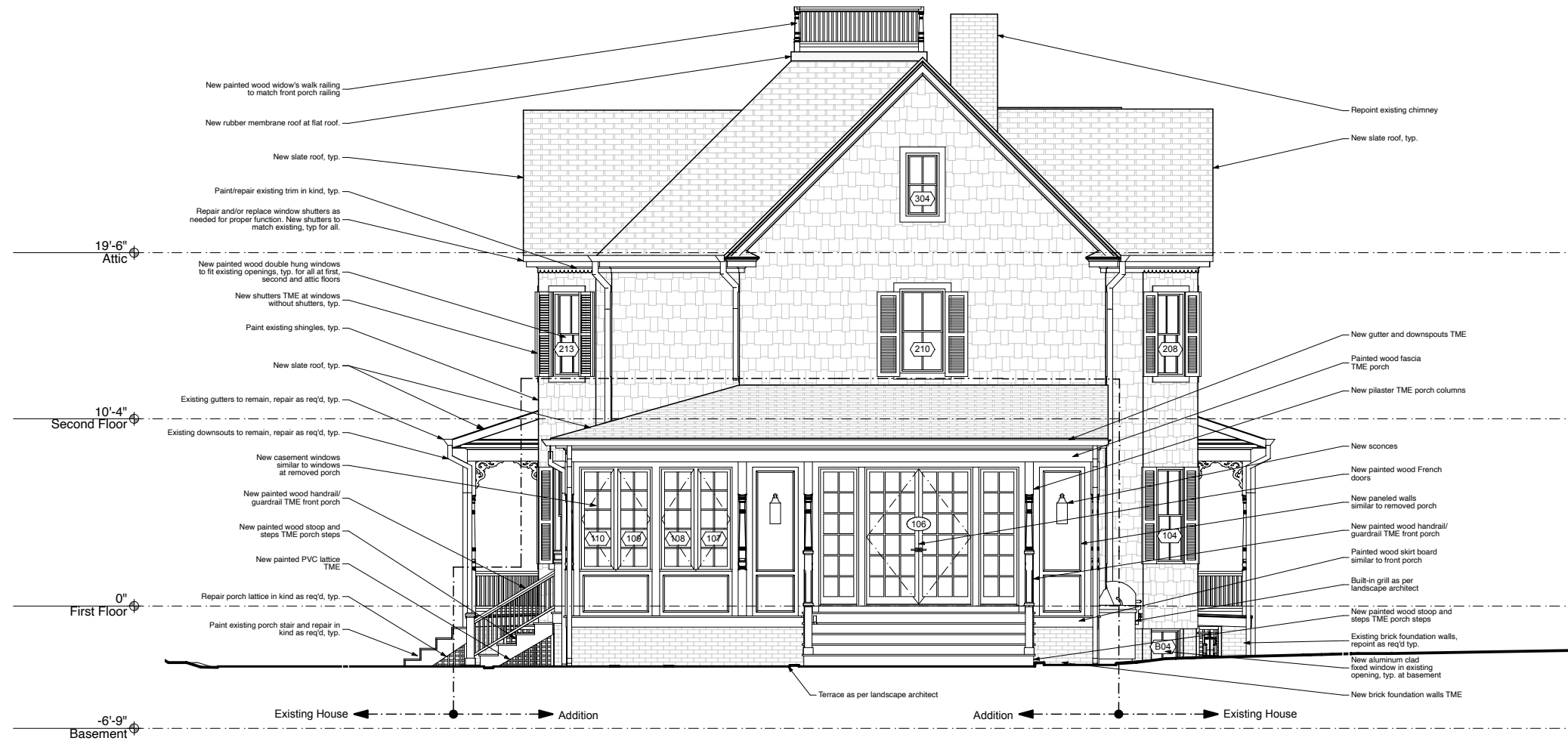
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- New front porch ceiling lighting to replace existing.
- Repair / replace shutters at all windows and install with new shutter hardware.
- Replace all windows at first, second and attic floors with double paned SDL wood windows. Sizes and shapes to match existing unless otherwise noted on drawings.
New windows to be configured as two over two design.
- Replace leaking windows at basement level with new double paned clad windows.
- Remove all non-historic storm doors.
- Replace front door with new solid wood and glass door and sidelites.
- Remove basement exterior access stairs that are not secure and leak air and water into house.
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- Add widow's walk railing to flat roof with details to match existing front porch.
- Remove rear deck and sun porch and replace with new one-story addition using details similar to house.

Construction schedule are unknown at this time. Once approvals have been given, the project scope and timelines will be finalized.

2 Rear Elevation

1/8" = 1'-0"



1 Left Elevation

1/8" = 1'-0"



ANNE DECKER ARCHITECTS

5019 Wilson Lane 2nd Floor Bethesda MD 20814
301 652 0106 annedeckerarchitects.com
©2025 Anne Decker Architects, LLC

DALTON RESIDENCE

7 Brookletts Avenue
Eaton, MD 21601

Historic Amendment
December 08, 2025

Date	Set
09/29/25	Historic Review
11/25/25	Prelim. Pricing



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/9/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 107 and 109 S Washington Street

Applicant: Christian Chute, AIA on behalf of Carstairs Row LLC

Application Number: 2025-1404

Code Enforcement Case: Yes No

Project Description:

The applicant is proposing revisions to a previously issued certificate of appropriateness (#25-1404). The proposed revisions include changing the approved windows on the rear and side elevations from aluminum clad wood windows (Marvin Ultimate) to fiberglass clad wood windows (Anderson A Series). The existing wood windows on the second floor of the front façade will also be replaced with Anderson A Series windows. These windows will have simulated divided lights and will be of a 9 over 6 configurations.

Background:

A request to demolish the rear addition of 109 S Washington Street and construct a new addition first appeared before the HDC on April 8, 2024. At that time, the Commission found the rear addition to be a contributing structure and requested the Maryland Historic Trust (MHT) review and comment on the application.

On May 20, 2024, the MHT provided a review letter which evaluated the historic significance of the rear addition and the effect demolishing the addition would have on the building's contributing status. The letter also commented on the proposed new construction and found that the proposed construction did not meet Standard #9 of the Secretary of the Interior's *Standards for Rehabilitation* which states "new additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

The HDC held its second hearing on the application on June 10th 2024 after receiving the MHT’s review letter. The Commission issued a certificate of appropriateness, approving the request subject to the condition that the applicant return with a plan showing the location of any mechanical equipment and a landscape plan. No such plan was ever submitted and the Certificate of Appropriateness expired on December 10, 2024 as no building permit was ever issued.



Figure 1 Previously Approved Addition

On March 10th, 2025 the HDC issued a certificate of appropriateness for a scaled back version of the previously approved project (*Figure 2*). Proposed site work included constructing a new brick knee wall, new brick entry steps, new bicycle storage, and the installation of new Bilco doors. Renovations to the building included the installation of new windows on the southern and western facades, two new wood doors on the western façade, replacement of a failing brick wall on the western façade with smooth Hardi lap siding, and the installation of a new standing seam metal roof/architectural asphalt shingle roof.



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**



Figure 2 Scaled back addition

On August 11, 2025 the HDC approved additional revisions to the rear façade. These included changing the fiber cement siding to reclaimed brick and the addition of a first-floor window on the rear façade. This approval was conditioned upon the applicant adding vertical brick lentils over the rear windows.

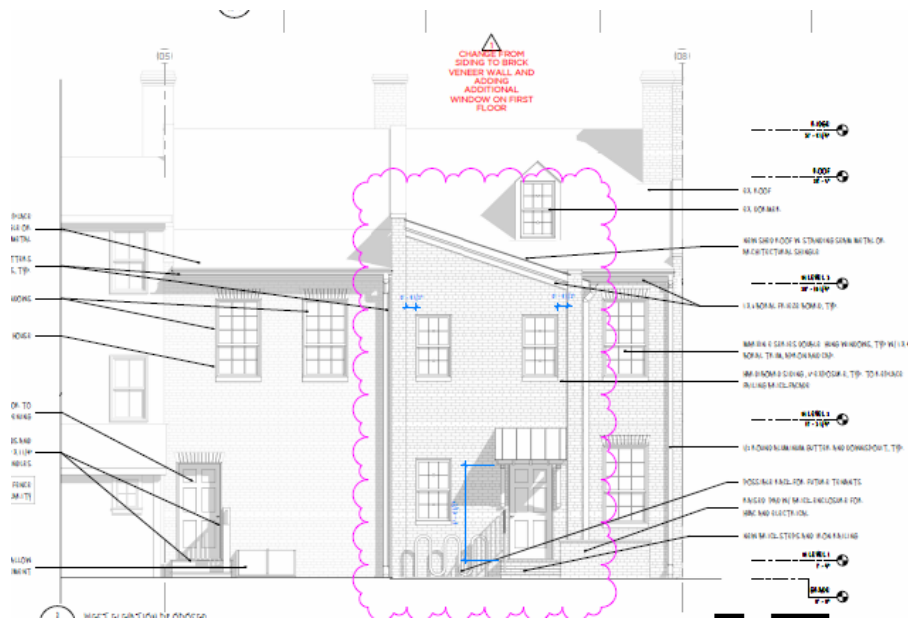


Figure 3 Revised Rear Elevation



Historic District Guidelines:

Guideline 1. Preserve Significant Historic Features

- a. Avoid the removal of historic architectural features and materials. Historic architectural features include large scale characteristics including the building's overall shape, roof form, and fenestration patterns, as well as small-scale features like moldings, brackets, ornaments, and other examples of skilled craftsmanship.
- b. Retain existing historic building materials, including brick and stone masonry, wood shingles and siding, stucco, etc., to the greatest extent possible. Avoid removing historic materials that are in serviceable condition.
- c. Materials or additions which were added after the building's initial construction – for example a porch, or a kitchen addition – may have since achieved historic significance in their own right and should be preserved.

Guideline 2. Repair Rather than Replace

Where possible, repair historic materials and features rather than replacing them.

- a. Repair rather than replace historic features wherever possible.
- b. Use the recommended technical procedures for cleaning, refinishing, and repairing historic materials. See Appendix D for technical resources. Some cleaning methods, including chemical and abrasive methods, and repair techniques can cause or exacerbate damage to historic materials of the building, particularly masonry. Always use the gentlest methods available.

Guideline 3. Make Sensitive Replacements

- a. Replace as little historic material as possible. This may include patching, splicing, or piecing-in replacement materials such as individual roofing tiles, shingles, or siding, masonry patches, or dutchman repairs for wood elements.
- b. Match the historic feature's size, shape, profile, texture, and color to the greatest extent possible. The new materials should match the old when possible. In some cases, replacement with features recreated in synthetic materials may be appropriate (for additional information on substituting historic materials, see Appendix B).**



c. Avoid changing the character of historic features. For example, original horizontal board siding should not be replaced by vertically oriented siding or shingles, even of the same material.

d. Substitute materials should only be used if they do not cause damage or change the character of the historic resource. The new material should match the form, color, and texture of the historic feature (for additional information on substituting historic materials, see Appendix B).

Guideline 89. Maintain Historic Windows

a. Maintain the historic shape, size, alignment, pattern, and details of existing historic windows. Where altered, consider restoring to its historic appearance based on physical or documentary evidence.

b. Do not infill window openings or cover existing historic windows.

c. Consider reopening windows that are presently blocked or boarded over.

d. Repair damaged or deteriorated windows. This may include replacing broken panes, sanding and repainting, or oiling operable components such as locks and chains.

e. Replace missing window elements, such as hardware or trim, in-kind.

f. Do not cover or wrap window trim or sills. Metal and vinyl coverings retain moisture and accelerate deterioration of wood and masonry elements.

g. Fix drafty windows by replacing weather stripping and ensuring that the window is well-fitted to the window opening. Add storm windows to provide a thermal break, if needed. Storm windows are a cost-effective alternative to replacing historic windows.

Guideline 90. Make Sensitive Replacements (Windows)

a. Replace windows that cannot be repaired in-kind. **Replacement windows must match the original windows in size, proportion, design, and style. The number of windowpanes and the muntin and mullion profiles should match the historic window.**

b. Replacement units for historic divided light (multi-pane) windows must have the appearance of a true divided light. **Simulated divided light windows with three dimensional muntins are usually appropriate.** “Snap-in” or “between-the-glass” vinyl



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

muntings do not simulate a historic appearance and will not be approved for windows within the historic district.

- c. Maintain the window type. For example, replacing a double-hung window with a casement window is not preferred.
- d. Maintain the historic window opening size and surrounding trim. Altering the window opening to accommodate larger or smaller windows is not preferred.
- e. Where inappropriate replacements were previously installed, and the original window appearance is unknown, neighboring buildings may provide clues to appropriate configurations. In general, a style of window that is in keeping with the architectural style of the building is most appropriate. Where the style of window cannot be determined, a one-over-one window configuration is usually most appropriate.
- f. Windows constructed of hollow core or extruded vinyl components should not be used. Other alternative materials, including fiberglass composite or aluminum-clad, may be appropriate in some circumstances. See Appendix B for additional information on substitute materials.
- g. Certain rare or unique windows should not be replaced or altered. This determination will be made by the HDC.

Guideline 91. Shutters

- a. Shutters are appropriate for windows on some residential buildings, and in some cases, on the upper stories of commercial properties.
- b. Restore or replace missing original shutters with appropriate replacement units based on physical or documentary evidence.
- c. Shutters, even when non-operable, should be sized to cover the window if closed, and shall maintain accompanying, historically appropriate hardware (except for hinges).
- d. Paintable, smooth-finished, composite materials and wood are appropriate materials for replacement shutters. Vinyl is not appropriate.

Appendix B.2. Common Substitute Materials

Composite/Fiberglass and Fiberglass-Clad

Composite windows are made of a mix of materials, typically fiberglass and wood fibers. Fiberglass windows have a matte finish as compared to vinyl windows and are available with



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

details (including proportions and profiles) that mimic those of historic windows. Many composite windows are paintable and are a good, lower-cost option for residences in historic districts. **Fiberglass-Clad windows are typically wood windows clad in a fiberglass or fiberglass facing and are generally appropriate wherever composite/fiberglass windows are appropriate.**

Draft Motions:

1. I move that the Historic District Commission **approve** the revised application as submitted.

OR

2. I move that the Historic District Commission deny the application based on the following findings

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101017470		107 S WASHINGTON ST		SHOEMAKER, PAUL GEORGE			
YEAR BUILT		PHYSICAL CONDITION					
1800s*		FAIR-DETERIORATED BRICK, NEEDS REPAINTED					
ARCHITECTURAL STYLE				ADDITION(S)			
FEDERAL				3 STORY BRICK + 2 STORY FRAME			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				A		Y	
NOTES							
2 1/2 STORY 2 BAY FLEMISH BOND BRICK DWELLING, ENTRANCE HAS BEEN MOVED BUT RETAINS DENTILATED + TREFOIL CAP. STONE KEY STONE ARCHES. FRETWORK IN CORNICE MATCHES THAT OF #109. THIS UNIT WAS BUILT AT SAME TIME AS #109 (NO BREAK IN FAÇADE BRICK) BUT IS MORE ALTERED THAN ITS NEIGHBOR. #109 HAS EXCELLENTLY CRAFTED FEDERAL DOOR SURROUND.							



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 3/10/2025
Application Number: 2025-1404
Location: 107 and 109 S Washington Street
Applicant: Christian Chute AIA

Request: The Applicant is proposing the partial demolition of a 180 square foot contributing rear addition to 109 S Washington Street (The Plate House). Following the demotion of the rear addition, the Applicant is proposing to construct a 600 square foot, two-story rear addition. Renovations to the building include the installation of new windows on the southern and western facades, two (2) new wood doors on the western façade, the replacement of a failing brick wall on the western façade with smooth Hardi lap siding, and the installation of a new standing seam metal roof and architectural asphalt shingle roof.

The Applicant amended the application to withdraw the fence installation request.

Commissioner Carey moved to **approve** the amended application subject to the following conditions:

1. **The Applicant shall salvage historic materials including the brick, beams, fireplace surrounds, and any other applicable material. These materials shall be donated to a reputable architectural salvage organization.**
2. **All HVAC units shall be located on the side or rear façade and screened from view.**
3. **Fiber cement siding joints and seams are to be lapped toward the rear of the building, and joints must be staggered randomly to avoid a “stair step” appearance. Joints will be avoided in areas with spans of less than 12 feet in length.**
4. **Any new brick should be the same size, type, and color as the original or should match as closely as possible.**
5. **New standing seam metal roofing must meet the dimensional requirements of Guideline 70e.**

Commissioner Bateman seconded the motion.

FOR: 4 - Demby, Bateman, Carey, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

In the event than any party is aggrieved by a decision of the Commission, the party has the right of appeal to the Board of Zoning Appeals in accordance with Article XIII of the Zoning Code. Appeal requests must be filed within thirty (30) days from the date of the Commission decision. Further appeal may be taken to the Circuit Court for Talbot County.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

3/25/2025

 Date



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 8/11/2025
Application Number: 2025-1404
Location: 107 & 109 S Washington Street
Applicant: C&C Architecture

Request: The Applicant is requesting an amendment to the previously approved scope of work for the siding. The Applicant is now proposing to change the fiber cement siding on the rear wall to a brick veneer wall, and adding a new first-floor window to the rear façade.

Commissioner Carey moved to **approve the application subject to the condition that vertical brick lentils are added over the rear windows.**

Commissioner Startt seconded the motion.

FOR: 7 - Demby, Brophy, Bateman, Carey, Carr, Startt, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

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Nicholas Johnson

 Representative, Historic District Commission

8/26/2025

 Date



TOWN OF EASTON
 PLANNING AND ZONING
 14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #: 2025-1404
Date Received: 02/23/2026
Fee Paid: -
HDC Meeting Date: 03/09/2026
Date Property Posted: 03/04/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
 (PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER
 NEW CONSTRUCTION/ADDITION **EXTERIOR ALTERATIONS**
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS 107 & 109 South Washington Street
 Contributing Non-Contributing YEAR BUILT: 1890 NATIONAL REGISTAR # NA

PROPERTY INFORMATION

OWNER NAME Richard Marks
 TELEPHONE NO. _____ EMAIL _____

Applicant or Agent

NAME Christian Chute, AIA
 TELEPHONE NO. _____ EMAIL _____

Description of Proposal (include additional sheets, as necessary)

Replacement of second floor exterior, single pane windows with Andersen A series. A series windows were previously approved for the second floor of 4 North Washington street on both the west and south facades. Proposed replacement also includes the (2) second floor windows on the second floor, rear west facade. Please see attached.

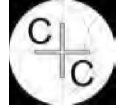
Specific Requirements

- The payment of fees is due at the time of application submittal. As of December 27, 2022, the fees are as follows:
 Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent
 Date (02.22.26)
 Printed Name of Applicant or Agent Christian Chute



Project Site: 107 & 109 South Washington Street
Easton, MD 21601

Permit #: n/a

Memo Re: Narrative regarding proposed window replacement

DATE: (02.22.26)

ATTACHMENTS: HDC2.1, HD2.2, HD2.3 Dated (02.22.26)

Narrative:

The previous COA from the Historic district approved window replacement at the west, rear elevation with Marvin Ultimate aluminum clad windows. The owner, Richard Marks, already received approval for replacing the second story windows at 4 North Washington Street with Andersen "A" series windows. As a result, we changed the windows to the more historically appropriate Andersen architectural series windows at the rear, west elevation and at the south, side elevation. The renovation project is now moving to the second floor. We are proposing the same "A" series windows for the second floor on the west, rear facade and on the east, street-facing façade. Please see attached drawings.

The current, second floor windows are wood, single-pane with storm windows on the exterior. The deteriorating condition of the windows requires replacement. We are proposing new Andersen "A" series windows. The material is a wood and fiberglass composite. We are specifying $\frac{3}{4}$ " ovolo muntin profiles with simulated divided lights, 2" brick mould, and a 9-over-6 muntin configuration to match the profiles and architectural details of the existing, wood windows.

In sum, we are requesting the following:

1. Approval for the windows that have been installed on the west, rear elevation that are Andersen "A" series, not the previously approved Marvin Ultimate series, aluminum clad.
2. Approval for the replacement of the windows on the second floor on the west, rear façade and the east, front façade with the same Andersen "A" series double hung windows.

A handwritten signature in black ink, appearing to read 'CHRISTIAN CHUTE', written over a horizontal line.

Christian Chute, AIA



E-ROOF
37'-6 1/4"

F-ROOF
26'-5"

01 LEVEL 3
30'-10 1/4"

01 LEVEL 2
17'-5 1/4"

01 LEVEL 1
7'-4"

GRADE
0'-0"

CHANGE (5) EXISTING, SECOND STORY WINDOWS TO ANDERSEN "A" SERIES DOUBLE HUNG, SAME MUNTIN LAYOUT, NO CHANGE TO SIZE OR LOCATION. SEE ATTACHED PHOTO



4 EAST FACADE EXISTING PHOTO
HD2.1



E-ROOF
37'-6 1/4"

F-ROOF
26'-5"

01 LEVEL 3
30'-10 1/4"

01 LEVEL 2
17'-5 1/4"

01 LEVEL 1
7'-4"

GRADE
0'-0"

CHANGE TO ANDERSEN "A" SERIES DOUBLE HUNG, SAME MUNTIN LAYOUT, SEE ATTACHED PHOTO. PREVIOUSLY PROPOSED MARVIN "E" SERIES DOUBLE HUNG, ALUMINUM EXT., WOOD INTERIOR

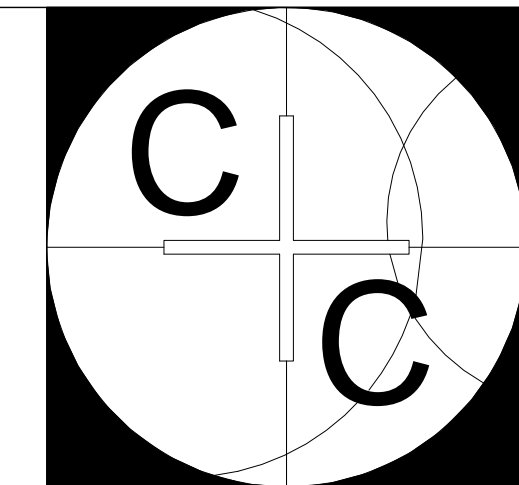
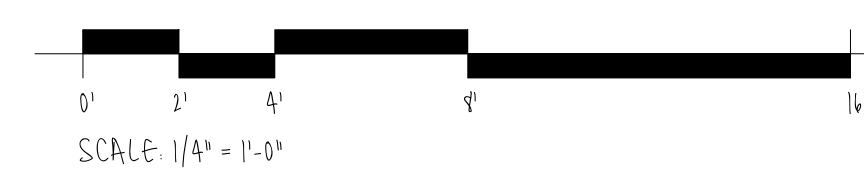
CHANGE TO ANDERSEN "A" SERIES DOUBLE HUNG, PREVIOUSLY APPROVED MARVIN "E" SERIES

CHANGE TO ANDERSEN "A" SERIES DOUBLE HUNG, SAME MUNTIN LAYOUT, SEE ATTACHED PHOTO. PREVIOUSLY PROPOSED MARVIN "E" DOUBLE HUNG

CHANGE TO ANDERSEN "A" SERIES DOUBLE HUNG, PREVIOUSLY APPROVED MARVIN "E" SERIES



3 WEST FACADE EXISTING PHOTO
HD2.1



C + C ARCHITECTURE
7760 BLOOMFIELD ROAD • EASTON, MD 21601
410.253.0022
christian@candcarchitecture.net

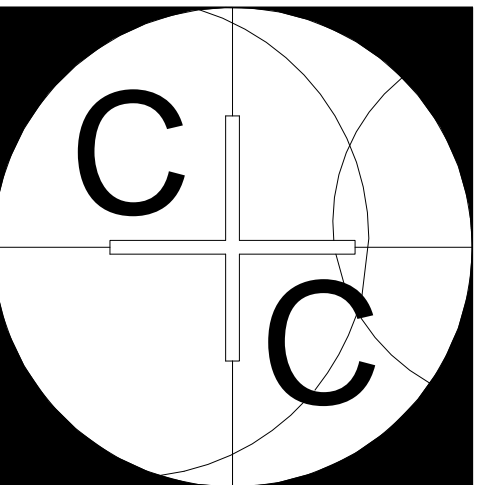
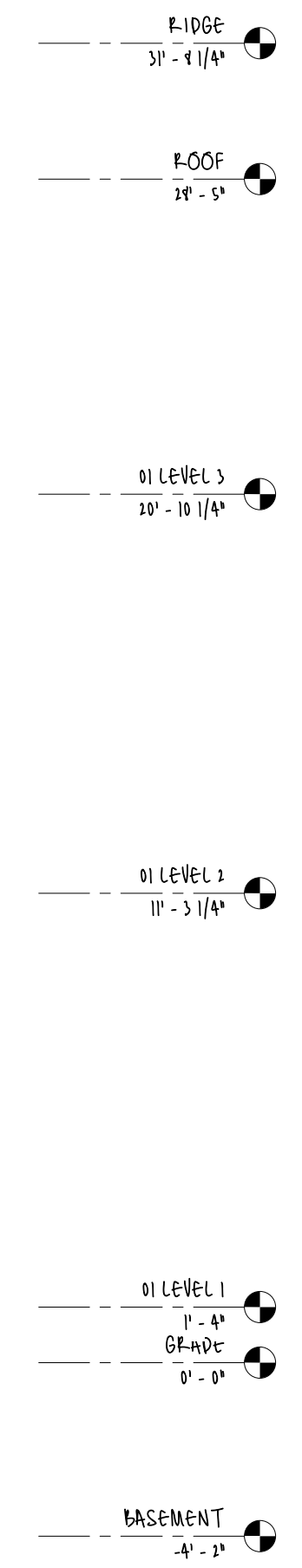
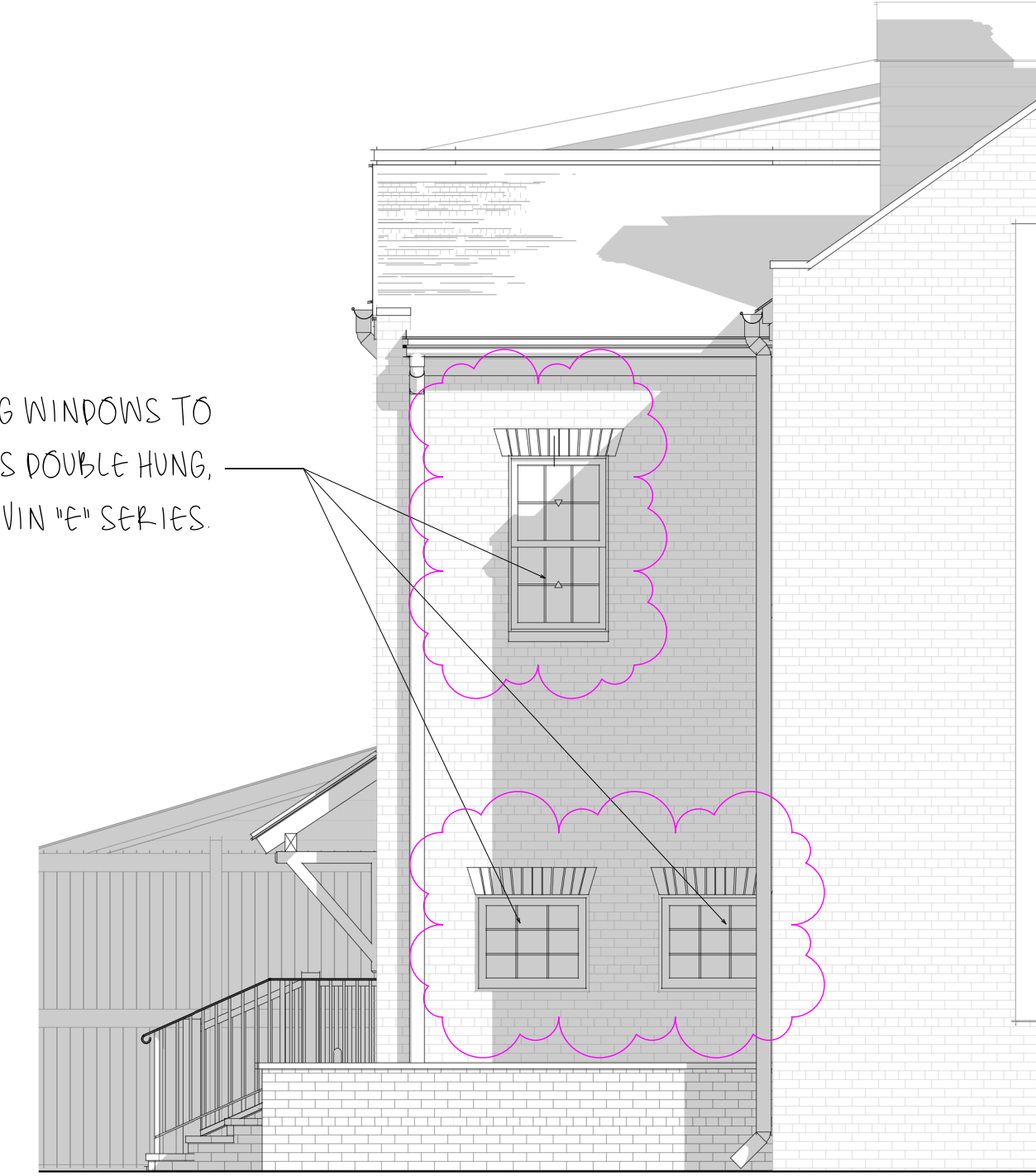
Architect's Seal
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ELEVATIONS
HDC DRAWINGS

Carstairs Row LLC
107 & 109 S. Washington St.
EASTON, MD 21601

REVISIONS	

Project number 2402
Date (02.22.26)
Drawn by CC
HD2.1
Scale As indicated



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christian@candcarchitecture.net

Architect's Seal
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1 EAST FACADE EXISTING PHOTO
HD2.2

2 ENLARGED VIEW OF EAST ELEVATION W. PROPOSED WINDOWS RENDERED
HD2.2

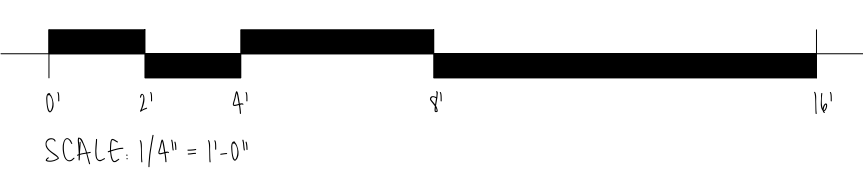
5 SOUTH ELEVATION PROPOSED
1/4" = 1'-0"
HD2.2



3 WEST FACADE EXISTING PHOTO
HD2.2

4 EAST FACADE W. PROPOSED WINDOWS RENDERED
HD2.2

6 SOUTH FACADE EXISTING PHOTO
HD2.2



ELEVATIONS
HDC DRAWINGS

Carstairs Row LLC
107 & 109 S. Washington St.
EASTON, MD 21601

REVISIONS	

Project number 2402
Date (02.22.26)
Drawn by CC

HD2.2
Scale As indicated



Double-Hung Windows

Andersen® A-Series double-hung windows feature traditional styling that includes a tall bottom rail and a spoon-style lock. A-Series double-hung windows are available with all of our energy-efficient glass options, and their exteriors are virtually maintenance-free. A sophisticated one-touch release allows the sash to tilt in for easy cleaning from the inside.



DURABLE

- Virtually maintenance-free
- Exterior finish never needs painting and won't flake, rot, blister, peel or corrode*
- Exteriors are protected by a Fibrex® material and fiberglass for long-lasting performance

ENERGY-EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Variety of High-Performance Low-E® glass options available to help control heating and cooling costs in any climate
- Many A-Series casement windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.

BEAUTIFUL

- Eleven exterior color options and a variety of interior options
- Extensive hardware selection, grilles, between-the-glass art glass and patterned glass options



*Full AndersenWindows.com warranty for details. "ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

ANDERSEN "A" SERIES SPEC SHEET 1

A-SERIES THE ARCHITECTURAL COLLECTION

OPTIONS & ACCESSORIES

- Four Low-E® glass options
- Four patterned glass options
- 13 exclusive art glass designs that are placed between the glass
- Available with Stormwatch® protection for coastal areas
- Variety of grille styles and sizes
- Wide variety of hardware styles and finishes
- Exterior trim options

EXTERIOR COLORS



TRIM STYLE OPTIONS



INTERIOR OPTIONS

Wood Species



Interior Finishes & Painted Options



HARDWARE STYLES & FINISHES



*Actual wood is sapwood, a non-endangered species of mahogany, grown in Africa, with color and characteristics of American mahogany. Printing limitations prevent exact duplication of colors and replication of finishes. See your Andersen dealer for actual color and finish samples. Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a painted interior is specified. *Andersen® and all other marks where denoted are trademarks of Andersen Corporation. ©2017 Andersen Corporation. All rights reserved. 16_034 02/17



For more information, visit andersenwindows.com/a-series

For help finding an Andersen product or dealer near you, please call us at 877.577.7655 or visit andersenwindows.com.

ANDERSEN "A" SERIES SPEC SHEET 2



SOLD BY:
Builders FirstSource - Easton Easton
6031 Connection Dr Ste 400
Irving, TX 75039-2605
Fax: (214) 231-8270

SOLD TO:

CREATED DATE

LATEST UPDATE

OWNER

Joe Martinez

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Richard Marx - South Washington	Unassigned Project	8029690		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	5	AA	A1,A2,A3,A4,A5		
RO Size: 38" x 68"		Unit Size: 37 1/4" x 67 1/4"			

ADH3258RC, Unit, 8 Degrees - Moderate, A Series Double-Hung, Traditional (4 1/8" Bottom Rail), Standard Product Performance, Reverse Cottage/Crnel, 4 9/16" Frame Depth, No Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, Unit 1 Glass 1: 2 High, Unit 1 Glass 2: 3 High, Specified Equal Light Pattern, White, Pine w/Unfinished, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Chamfer Glass Stop Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks Satin Nickel, White, Full Screen, Aluminum

Insect Screen 1: A Series Double-Hung, ADH3258RC 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.29	0.27	NO	A1	33.1940	23.2190	5.35230

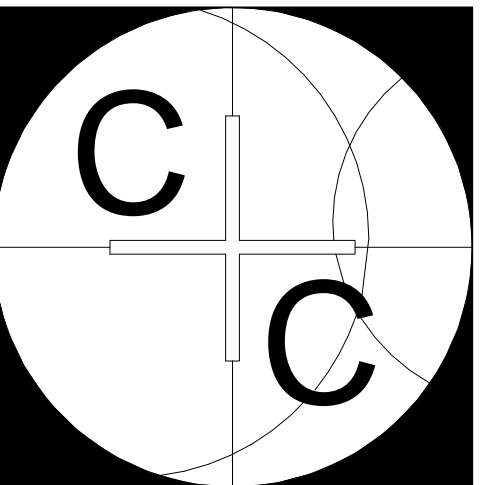
Quote #: 8029690

Print Date: 9/17/2025 3:54:05 PM UTC

All Images Viewed from Exterior

Page 1 of 5

WINDOW DETAIL FOR EAST FACADE STREET SIDE WINDOWS, SECOND FLOOR



C + C ARCHITECTURE

7760 BLOOMFIELD ROAD • EASTON, MD 21601

410.253.0022

christian@candcarchitecture.net

Architect's Seal

These drawings, design, and construction features disclosed are proprietary to C and C Architecture and shall not be used in whole or in part without the express permission of C and C Architecture.

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WINDOW SPECS

HDC DRAWINGS

Carstairs Row LLC

107 & 109 S. Washington St.

EASTON, MD 21601

REVISIONS

NO.	DESCRIPTION

Project number	2402
Date	(02.22.26)
Drawn by	CC

HD2.3

Scale



**Subject property posting pursuant to Section 28-901.2.H.2
of the Town of Easton Zoning Code**

February 27, 2026



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 2/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 33 S Harrison Street

Applicant: Michael J Harkowa on behalf of Moon River Investments LLC

Application Number: 2026-1642

Code Enforcement Case: Yes No

Project Description:

The applicant is seeking approval for extensive alterations to a **contributing** structure. Exterior improvements include replacement of existing aluminum siding and underlying cedar shakes with fiber-cement shingle siding, repair and replacement of deteriorated wood trim, and installation of new windows and doors. Windows will be replaced with energy-efficient wood sash units featuring simulated divided lights and a black exterior finish. The existing asphalt shingle roof will be replaced with a new architectural asphalt shingle roof.

The rear portion of the building will be reframed to increase wall height and accommodate a standard-height door, along with construction of a new shed roof designed to match existing exterior trim details. Gutters and downspouts will be replaced and a second exterior light will be added at the front entry for symmetry. Proposed materials for the project include the following:

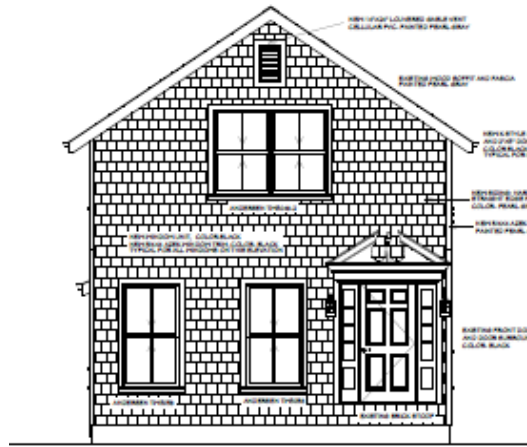
- **Windows:** Anderson 400 Series (Vinyl-clad wood)
- **Siding:** Hardie Shingle (Fiber cement) with straight edge, 7" exposure
- **Roof:** Architectural Asphalt Shingles
- **Doors:** Side – Fiberglass, Rear – Anderson 400 Series
- **Trim, Fascia & Soffit:** PVC (Azek)
- **Gable Vent:** Cellular PVC



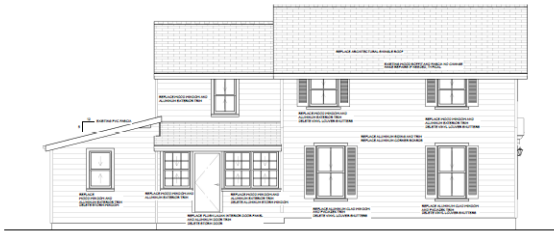
**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**



EXISTING FRONT ELEVATION



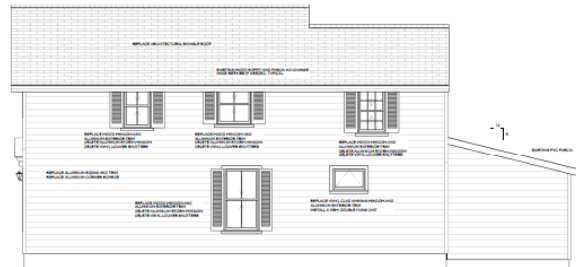
PROPOSED FRONT ELEVATION



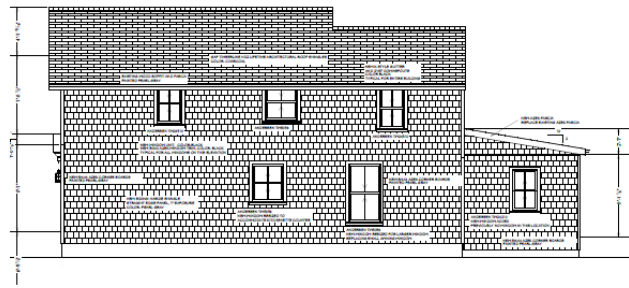
EXISTING LEFT SIDE ELEVATION



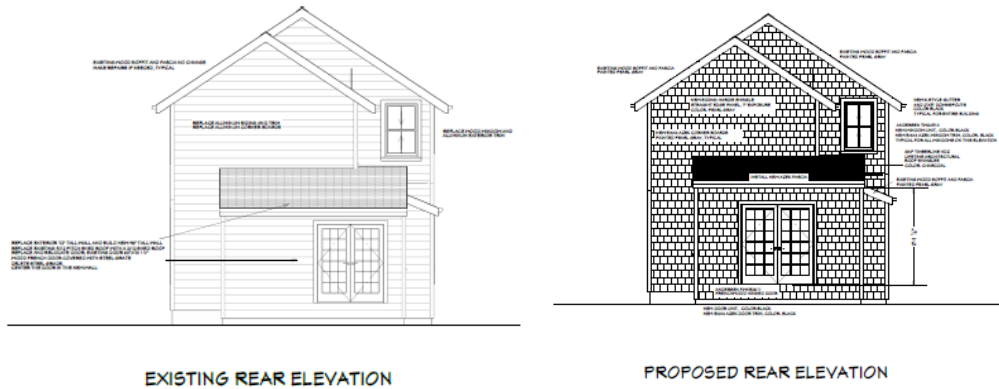
PROPOSED LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION



Historic District Guidelines:

Guideline 1. Preserve Significant Historic Features

- a. Avoid the removal of historic architectural features and materials. Historic architectural features include large scale characteristics including the building's overall shape, roof form, and fenestration patterns, as well as small-scale features like moldings, brackets, ornaments, and other examples of skilled craftsmanship.
- b. Retain existing historic building materials, including brick and stone masonry, wood shingles and siding, stucco, etc., to the greatest extent possible. Avoid removing historic materials that are in serviceable condition.

Guideline 2. Repair Rather than Replace

- a. Repair rather than replace historic features wherever possible.**
- b. Use the recommended technical procedures for cleaning, refinishing, and repairing historic materials. See Appendix D for technical resources. Some cleaning methods, including chemical and abrasive methods, and repair techniques can cause or exacerbate damage to historic materials of the building, particularly masonry. Always use the gentlest methods available.

Guideline 3. Make Sensitive Replacements

When a historic element is deteriorated to the point that replacement is required, the replacement should replicate the element as closely as possible.

- a. Replace as little historic material as possible. This may include patching, splicing, or piecing-in replacement materials such as individual roofing tiles, shingles, or siding, masonry patches, or dutchman repairs for wood elements.



- b. Match the historic feature's size, shape, profile, texture, and color to the greatest extent possible. The new materials should match the old when possible. In some cases, replacement with features recreated in synthetic materials may be appropriate (for additional information on substituting historic materials, see Appendix B).
- c. Avoid changing the character of historic features. For example, original horizontal board siding should not be replaced by vertically oriented siding or shingles, even of the same material.
- d. Substitute materials should only be used if they do not cause damage or change the character of the historic resource. The new material should match the form, color, and texture of the historic feature (for additional information on substituting historic materials, see Appendix B).

Guideline 4. Restore Significant Historic Features

It is appropriate to restore previously damaged or altered historic features to their historic appearance. Restoration should be based on physical evidence and/or documentation of the building's historic appearance.

- a. Remove non-historic materials that cover all or part of the façade. This may include inappropriate siding, cladding, or wrapping on façade elements such as cornices or storefronts.**
- b. Restore or replace underlying historic materials with new elements that closely replicate the historic appearance.**
- c. Take care to remove non-historic materials in a way that does not damage underlying historic materials.
- d. Replace missing features (such as cornices, storefronts, etc.) with historically appropriate replacement features. The design of replacement features should be based on its historical appearance and substantiated by documentary, physical, or pictorial evidence. This may be accomplished by locating historic photographs which show the original appearance of the element, replicating existing but incomplete elements, or by reproducing elements visible on neighboring buildings of the same style and date range.
- e. Where no evidence of the feature's original appearance exists, utilize a simple design consistent with the scale, massing, and style of the building and surrounding area.



f. Historic additions that are in keeping with the overall design of the building and are over 50 years old have achieved significance in their own right and should be retained or restored.

Guideline 40. Details and Ornamentation

- a. Maintain historic details and ornamentation. Keep painted surfaces, including wood and metal, painted. Numerous coats of paint that obscure details and ornamentation should be removed prior to repainting
- b. Repair deteriorated details and ornamentation. Where the deterioration is so severe that replacement is necessary, only the deteriorated elements should be replaced. Replacements should match the original in material size, profile, texture and other defining characteristics as closely as possible.
- c. If a substitute material is used, it should be visually, physically, and chemically compatible with surrounding original material.
- d. Missing details and ornamentation should be replaced. Their design should be based on documentary evidence. Do not add conjectural features or historically incorrect details or ornamentation to a building.
- e. Avoid removing or covering details or ornamentation.

Guideline 41. Maintain Original and Historic Doors

- a. Maintain doors and entrances in their original location. Avoid relocating or removing historic doors by blocking-in existing door openings, especially on the front façade.
- b. Maintain and repair doors, frames, sills, hardware, transoms, fanlights and sidelights on doors located on front façades and side and rear façades visible from a primary public right-of-way.
- c. Avoid adding details, surrounds, canopies, or ornamentation that have no historical basis and are not in keeping with the character of the original door.**

Guideline 42. Make Sensitive Replacements

- a. Replace historic doors and surrounds in-kind, where repair is not possible. The replacement door should duplicate the original as closely as possible.
- b. Replacement doors should be compatible with the overall character of the façade in which they are located.



- c. Doors located on the front façade of historic properties are typically solid wood. Replacement doors for front façades should be wood. **Alternative materials, provided they are smooth and painted, may be used for doors located on the sides or rear of the property. See Appendix B for additional information on Substitute Materials.**
- d. If the location of a door to be replaced is not under a protective cover, then an alternate material may be considered for increased durability. The design must be compatible with the architectural style of the property and should mimic the appearance of the original door.

Guideline 43. Restore Missing or Inappropriately Altered Doors

- a. Replace inappropriately designed, non-original doors or surrounds with an appropriately designed door or surround based on documentary or photographic evidence. If no such evidence exists, the design of the replacement door or surround should be complimentary to the character of the façade in which it is located. A simple design is often best.
- b. Avoid using inappropriately detailed replacement doors, such as solid doors for the main entries to commercial buildings, or ones that are not in keeping with the character of a residential building.

Guideline 46. Maintain Historic Windows for Energy Efficiency

- a. **When historic windows are too deteriorated to repair, install compatible and energy-efficient replacement windows that match the historic windows. They should also be durable, repairable, and recyclable.**
- b. Replace missing windows with new, energy efficient windows matching the remainder of the historic windows on the building.
- c. **Retrofit historic windows with high-performance glazing or clear film if the historic character can be maintained.**

Guideline 62. Choose Appropriate Color Schemes

- a. Choose a harmonious color palate. Avoid mixing clashing colors.
- b. Use contrasting colors to accent details, such as trim, dentil molding, etc.
- c. Use the paint scheme to tie elements of the building together.



d. Consider whether the building is usually in shadow or bright light when choosing paint colors. Darker colors are more appropriate on well-lit facades, and lighter colors on shadowed facades.

Guideline 68. Maintain Historic Roof Shape

- a. Preserve the historic shape and slope of the roof. If a roof will be replaced completely, it shall be replaced with the same roof form or a similar form complimentary to the architectural style.
- b. Details, ornamentation and other character-defining elements should be maintained.
- c. The addition of dormers should be undergone sensitively. If a dormer is added, its size, design, and placement should be in keeping with the character of the building and in scale with its size. Its siding and roofing should match the existing, and its windows should be consistent with the building's other windows in terms of style, type, and material.
- d. Do not increase the height or change the shape of parapets unless to restore an inappropriately altered condition to its historic appearance.
- e. Roofs on secondary structures should be consistent with the architectural style of the main building in terms of shape and slope.
- f. Missing or severely damaged roof towers, dormers, finials, cresting, chimneys and other character-defining elements should be replaced based on documentary or photographic evidence. If no evidence of the appearance of the element exists, a new element should be designed to be compatible with the overall character of the building.

Guideline 70. Roof Material

- a. Retain and repair visible historic roofing materials where feasible.
- b. Where total replacement of all roofing material is required, the new roofing should match the existing material or be a roofing material that is consistent with the building's architectural style.
- c. Heavy-weight architectural shingles are preferred when existing asphalt shingles are replaced.

Guideline 76. Preserve Historic Wood Siding

- a. Maintain existing wood façades using appropriate paint or other protective coatings.
- b. Repair minor deterioration using an appropriate wood consolidant or filler.



- c. Remove metal, vinyl, asbestos shingles and other inappropriate materials from façades and repair damaged wood as necessary.**

Guideline 77. Make Sensitive Replacements

- a. If the deterioration is severe, replace only the affected areas with wood siding that matches the existing in size, shape, profile, and texture.
- b. Avoid replacing original wood siding with a different type of wood siding; for example, replacing 4-inch horizontal wood board siding with wood shingles.
- c. Avoid applying replacement material that will damage underlying materials, trap moisture, or compromise the structural capacity of the façade.
- d. Avoid applying replacement material so that it damages or destroys other character-defining elements including trim and ornamental pieces.

Guideline 78. Substitute Materials for Siding

The use of alternate materials for siding on historic buildings will be evaluated on a case-by-case basis. The HDC will consider the significance and character of the subject building, as well as the surrounding street context in determining whether the use of alternate siding at a particular building site is appropriate.

The HDC may recommend that exterior siding be removed down to the original wood siding before new siding is installed.

- a. Contributing buildings with original wood siding are to continue with wood siding.
- b. If a contributing building was previously covered with asbestos, metal, or vinyl siding, these materials may remain. If the later additional material is removed, it is preferred to repair and use the original wood siding. On a case-by-case basis, deteriorating original wood can be examined, and an alternate material may be considered.**
- c. If the existing siding is not historically appropriate, consider replacing all of the siding with an appropriate alternative.

Guideline 79. Fiber Cement Siding

- a. Use smooth finished boards matching the original profile and reveal as closely as possible. Although many of these boards come in a wood-grain texture, this is not



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

historically appropriate. Historic wood siding was planed and sanded smooth prior to painting, and a smooth plank creates a more appropriate finish.

b. Although fiber cement replacement siding may be approved when replacing existing synthetic siding, it is generally not appropriate to replace wood siding with fiber cement or other synthetic siding, however, severely deteriorated siding will be considered on a case-by-case basis.

c. Siding joints and seams are to be lapped toward the rear of the building, and joints must be staggered randomly to avoid a “stair step” appearance. Joints will be avoided in areas with spans of less than 12 feet in length.

d. Maintain existing trim details at window and door surrounds. If necessary, “pad out” existing window trim to maintain the existing detail, depth, and appearance.

e. Use of aluminum- or vinyl-wrapped wood for trim or fascia is not appropriate and will not be approved.

f. Avoid applying replacement material so that it damages or destroys other character-defining elements including trim and ornamental pieces.

Guideline 89. Maintain Historic Windows

a. Maintain the historic shape, size, alignment, pattern, and details of existing historic windows. Where altered, consider restoring to its historic appearance based on physical or documentary evidence.

b. Do not infill window openings or cover existing historic windows.

c. Consider reopening windows that are presently blocked or boarded over.

d. Repair damaged or deteriorated windows. This may include replacing broken panes, sanding and repainting, or oiling operable components such as locks and chains.

e. Replace missing window elements, such as hardware or trim, in-kind.

f. Do not cover or wrap window trim or sills. Metal and vinyl coverings retain moisture and accelerate deterioration of wood and masonry elements.

g. Fix drafty windows by replacing weather stripping and ensuring that the window is well-fitted to the window opening. Add storm windows to provide a thermal break, if needed. Storm windows are a cost-effective alternative to replacing historic windows.



Guideline 90. Make Sensitive Replacements

- a. Replace windows that cannot be repaired in-kind. Replacement windows must match the original windows in size, proportion, design, and style. The number of windowpanes and the muntin and mullion profiles should match the historic window.**
- b. Replacement units for historic divided light (multi-pane) windows must have the appearance of a true divided light. Simulated divided light windows with three dimensional muntins are usually appropriate. “Snap-in” or “between-the-glass” vinyl muntins do not simulate a historic appearance and will not be approved for windows within the historic district.**
- c. Maintain the window type. For example, replacing a double-hung window with a casement window is not preferred.
- d. Maintain the historic window opening size and surrounding trim. Altering the window opening to accommodate larger or smaller windows is not preferred.
- e. Where inappropriate replacements were previously installed, and the original window appearance is unknown, neighboring buildings may provide clues to appropriate configurations. In general, a style of window that is in keeping with the architectural style of the building is most appropriate. Where the style of window cannot be determined, a one-over-one window configuration is usually most appropriate.**
- f. Windows constructed of hollow core or extruded vinyl components should not be used. Other alternative materials, including fiberglass composite or aluminum-clad, may be appropriate in some circumstances. See Appendix B for additional information on substitute materials.
- g. Certain rare or unique windows should not be replaced or altered. This determination will be made by the HDC.

Appendix B.2 Common Substitute Materials (Doors)

For residential properties, replacement doors of wood, fiberglass, or composite matching the historic feature or in a design compatible with the building’s architectural design are most



appropriate. **Fiberglass and composite doors** can be produced to mimic the style of historic doors and can be painted, a traditional finish for historic doors.

Appendix B.2 Common Substitute Materials (Siding)

Fiber cement board with a smooth finish is also an appropriate replacement for existing vinyl, asbestos, or aluminum siding. A smooth, rather than woodgrain, finish is appropriate, as it mimics the appearance of planed and painted wood boards. Fiber cement board may be approved for use as a replacement for historic wood siding or on newly constructed buildings within the Historic District.

Appendix B.2 Common Substitute Materials (Windows)

Vinyl clad windows are similar to aluminum- and fiberglass-clad windows, in that they are wood or composite windows with a vinyl facing. Vinyl-clad windows are not paintable and are not typically repairable.

Vinyl clad windows may be appropriate for use in some properties constructed in the mid-20th century, on noncontributing buildings, or on nonvisible elevations (such as the rear or obscured side) or contributing buildings.

Staff Analysis:

This application proposes the use of substitute materials for a number of features including siding, windows, trim, and doors. The Commission should consider the condition of the existing features, the historic significance of the structure, the surrounding context, and how well the proposed materials replicate the historic material; to determine whether these substitute materials are appropriate. Guidelines 42c, 79, and Appendix B.2 speak directly to the proposed materials for these features. The Commission may also elect to approve the removal of the aluminum siding and require an inspection of the underlying cedar shake prior to the new siding being installed.

Draft Motions:

1. I move that the Historic District Commission **approve** the application with staff's recommended condition based on the following findings...

OR

2. I move that the Historic District Commission **deny** the application based on the following findings...



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101025287		33 S HARRISON ST		B & A CHARTERS CORPORATION			
YEAR BUILT		PHYSICAL CONDITION					
1890		GOOD-ALTERED					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK WITH LATER COLONIAL REVIVAL DETAIL				1 STORY REAR SHED ADDITION			
NHL	NR	NR	MEETS NR	1980 NR	MD INVENTORY	CONTRIBUTING	NC CODE
DISTRICT	DISTRICT	LISTED	CRITERIA	RATING			
				C		Y	
NOTES							
2 STORY 3 BAY GABLE FRONT SIDE PASSAGE DWELLING W/ 2 STORY REAR ELL AND SIDE PORCH. 2 1/2 WINDOWS 2ND STORY WINDOWS ARE SHORTER AND WIDER THAN BELOW. 1ST FLOOR WINDOWS MAY HAVE ORIGINALLY BEEN SIMILAR TO #31 + 29 S. HARRISON COLONIAL REVIVAL DOOR LATER							
ADDITION. WALLS COVERED IN BEADED ALUMINUM SIDING							



TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #:	2026 - 1642
Date Received:	02/02/2026
Fee Paid:	\$200.00
HDC Meeting Date:	02/23/2026
Date Property Posted:	02/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS 33 S. HARRISON ST., EASTON, MD 21601

Contributing Non-Contributing YEAR BUILT: 1890 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME MOON RIVER INVESTMENTS, LLC

TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME GEOFF TURNER

TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Description of Proposal (include additional sheets, as necessary)

REPLACE THE ROOF, WINDOWS, SIDE DOOR, BACK DOOR, SIDING, SOME EXTERIOR TRIM AS NEEDED & AND PAINT.

REPLACE REAR SECTION WALLS AND ROOF TO ACCOMMODATE NEW 82" TAN DOOR AND ADDED CEILING HEIGHTS AS WELL AS ADD (1) WINDOW. DELETE SHUTTERS (VINYL SHUTTERS)

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent [Signature]

Date 1/30/2026

Printed Name of Applicant or Agent MICHAEL J. HARKOWA



Historic District Commission Application Checklist

Revised April 2022

Please complete the section that applies to your application. If a checklist item is not included or is non-applicable, please provide information supporting its omission for the Commission's consideration.

Requirements:

The payment of fees is due at the time of application submittal. As of July 1, 2025, the fees are as follows: **Commercial - \$200, Residential - \$75, Signs - \$75, Staff Approval - \$25.**

The application submitted shall include 2 paper copies plus 1 digital.

All Applications to Include:

- A narrative fully explaining the request
- Photographs of all existing conditions and that will be affected by the proposed project
- Description of all existing materials and a listing of all materials to be used for proposed project.
- Manufacturer cut-sheets and material specifications related to all proposed work.
- Any available and applicable historical photographs, sketches or other documentary evidence illustrating previous conditions and configurations of the building(s) **NOT AVAILABLE**
- Written authorization from the property owner authorizing the applicant to apply on their behalf.

New Construction / Addition

- Dimensioned elevations drawn to an appropriate scale illustrating all sides of the proposed structure. Drawings shall include notations outlining roof pitches, trim details and the type of windows and doors to be used for the project
- Site plan drawn to an appropriate scale and including setbacks and neighboring structures. Site Plan should illustrate the footprint(s) of all proposed EXISTING AND PROPOSED construction.
- Construction schedule
- For new construction only, the Commission will require a three-dimensional rendering, superimposed photo, silhouette or model of the proposed structure, other structure(s) located on the subject property and neighboring structures when necessary to understand the visual impact of the new construction and its compliance with the Guidelines.

Renovations

- Elevations or photographs of the existing conditions
- Elevation of the proposed changes
- Cut sheet for all proposed materials – Be sure to include all of the following that apply and any other additional materials:
 - Windows
 - Doors
 - Trim, fascia, soffit, etc
 - Decking/ porch flooring materials
 - Roofing Materials, gutters

Windows

Restoration of existing windows is the Commission's first choice. However, the Commission recognizes it may not always be practical to replace windows. For contributing buildings the front façade and any other façade facing a primary right of way are required to be wood windows. Aluminum, or fiberglass clad wood windows may be approved by the Commission on side or rear façades of contributing buildings. For non-contributing buildings clad wood windows will be considered on all elevations. Note: National Register Buildings are held to the highest of standards.

- Photograph or scaled elevation of all elevations of the building with each window that is to be replaced clearly labeled.
- Manufacturers cut sheet for each window to be replaced. Clearly labeled where it will be installed on the building.
- Materials for the windows must be clearly identified on the cut sheet
- Please note if existing trim/shutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Roofing

Note: National Register Buildings are held to the highest of standards.

- Photographs or scaled elevations showing the existing roofing material to be replaced.
- Manufacturers cut sheet for each type of roofing to be replaced. Clearly labeled where it will be installed on the building.
- Please note if existing trim, fascia, soffit, or gutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Signs

- Dimensioned scale drawings of the sign. Identify all materials to be used, color(s), lettering (including size and font style) and wording
- Photograph depicting the proposed location for the signage
- Lighting detail
- Construction and or mounting details

Landscaping & Trees

- Landscape plan where existing and proposed landscape features to be installed/planted, removed and/or relocated are identified including the location and species of existing and new trees

JUST CLEANING UP LANDSCAPING, TRIMMING, REPLACE 3 OVER GROWN SHRUBS IN FRONT OF BUILDING WITH BOXWOODS.

Fence

- Application must include:
 - o A Site plan :
 - Drawn to scale
 - Show and label the location of new and any existing fence. (this can be completed on two separate site plans for clarity)
 - Include location of neighboring structures
 - Identify height of proposed fence, location of gates and other openings
 - If the height or style of fence changes based on location, this must be clearly identified.
 - o Proposed fence style and material
 - o Include photograph, manufacturer cut-sheet of the fence, or detailed sketch of proposed fence.
 - o other relevant construction and or material detail

Demolition

The Historic District Commission (HDC) reserves the right to request a professional inspection of the structure(s). Said request may include evaluation by a historic preservation specialist.

- Elevations and photographic documentation of all elevations of the structure(s) to be demolished including footprint dimensions, height dimensions and a site plan illustrating location of the structure(s) to be demolished
- Structural Analysis by Structural Engineer or Licensed Architect
- For Economic Hardship please provide documentation. Reference Guideline 13.9
- Attach replacement plan

Other

- Attach all documentation supporting request

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.

If the applicant or their designee is not present for the scheduled HDC meeting, the Commission may elect to refrain from discussing and voting on the scheduled agenda item.

This checklist shall be submitted along with the completed Historic District Commission Application and all additional supporting information.



MJH Construction, LLC
8648 Commerce Drive, Suite 900
Easton, MD 21601
[REDACTED]
MHIC# 51251 MHBR# 7833

Historic District Application- Request Explanation

January 29, 2026

Project Address:

33 South Harrison Street, Easton, MD 21601

Owner:

Moon River Investments, LLC
7663 Tred Avon Circle
Easton, MD 21601



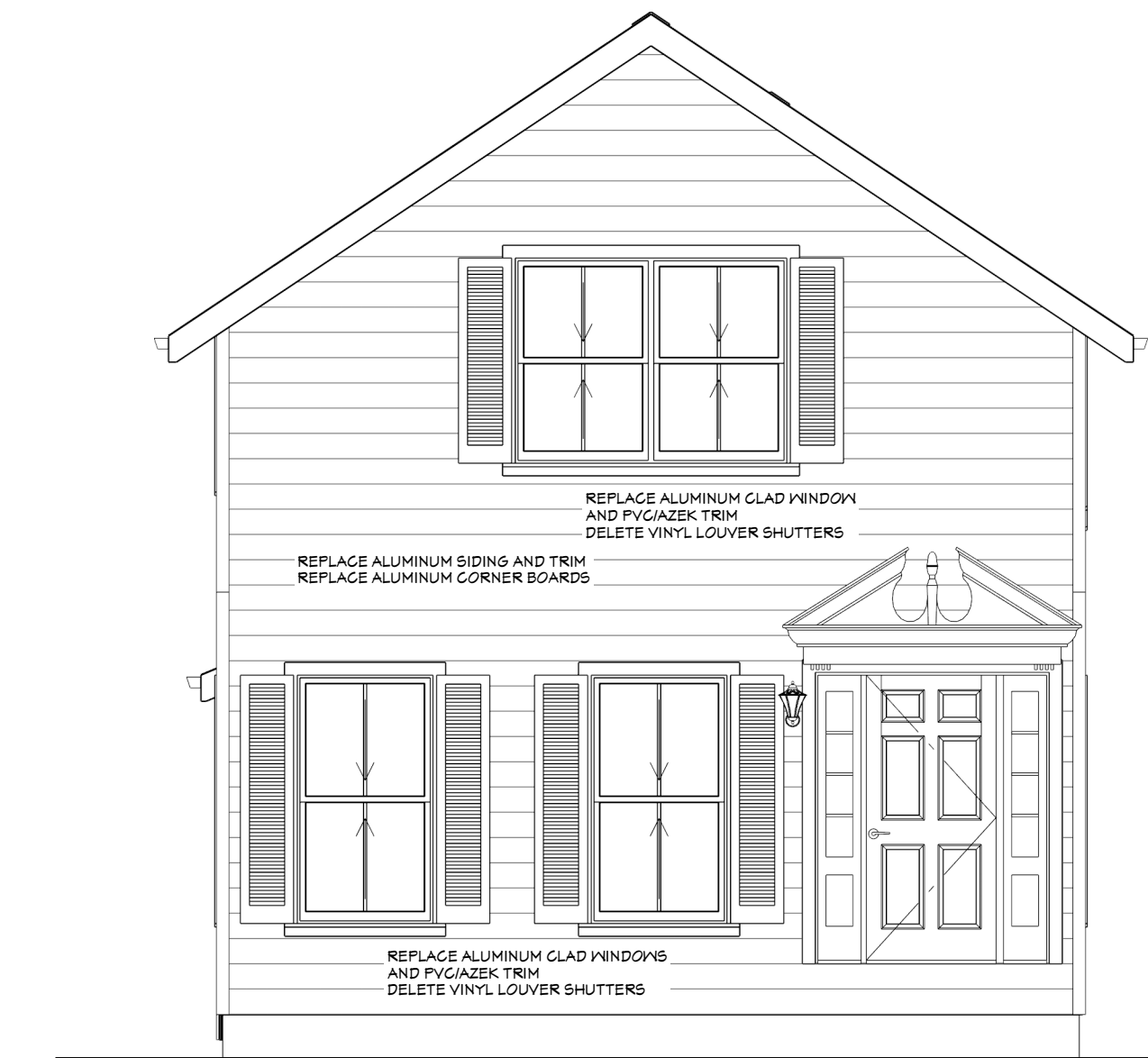
Explanation of request:

Renovate the existing office building on the interior and exterior to use as the office for Moon River Investments, LLC and a tenant office on the second floor. Replace the existing aluminum siding and trim, repair the existing wood trim at the soffits and fascias, replace the improper side and rear doors and replace the windows of which some have been replaced but do not match the original style windows. We will also clean up the landscaping, trim the overgrown plantings on sides and rear of the building and replace the overgrown hollies in the front flower bed with new boxwoods.

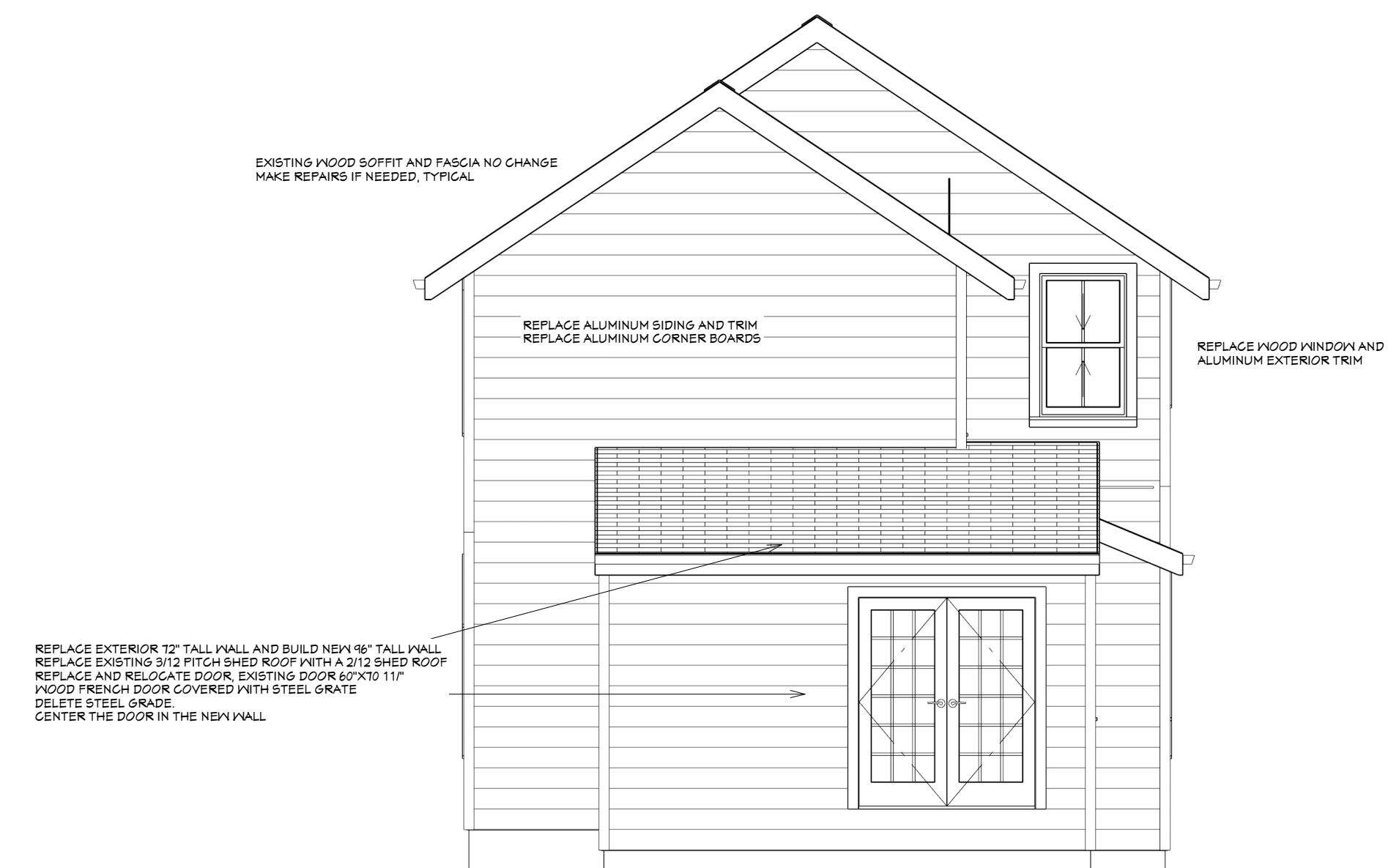
1. Existing back room on the building has a shed roof with a very low ceiling height (72") and short door (60"x70 1/2"). Reframe the back walls to 8'-0" tall to allow replacement of the back door with a standard height 60"x 82" door and install a new shed roof. Match the exterior trim details on the new walls and roof with the existing details on the building.
2. Replace the existing architectural asphalt shingle roof with a GAF Timberline Lifetime HDZ architectural asphalt shingle roof, color Charcoal.
3. Replace the windows with new energy efficient Andersen 400 Series wood sash windows with the appropriate simulated divided light grille pattern. Change the window color to black.
4. Replace the existing 8" aluminum siding with James Hardie brand Hardie Shingle Straight Edge Shingle siding with a 7" exposure, color Pearl Gray.
5. Replace and/or repair any deteriorated exterior trim. Paint the existing trim Pearl Gray.
6. Replace the deteriorated white 5" K style aluminum gutter and 2x3 downspouts with new black 5" K style gutter with black 2x3 downspouts.
7. Add a light the right side of the front door so there will be a light on both sides of the door.
8. Clean up the landscape on the front, sides and back of the property, trim back the overgrown plants and shrubs, clean up any weeds and clean up the fence.



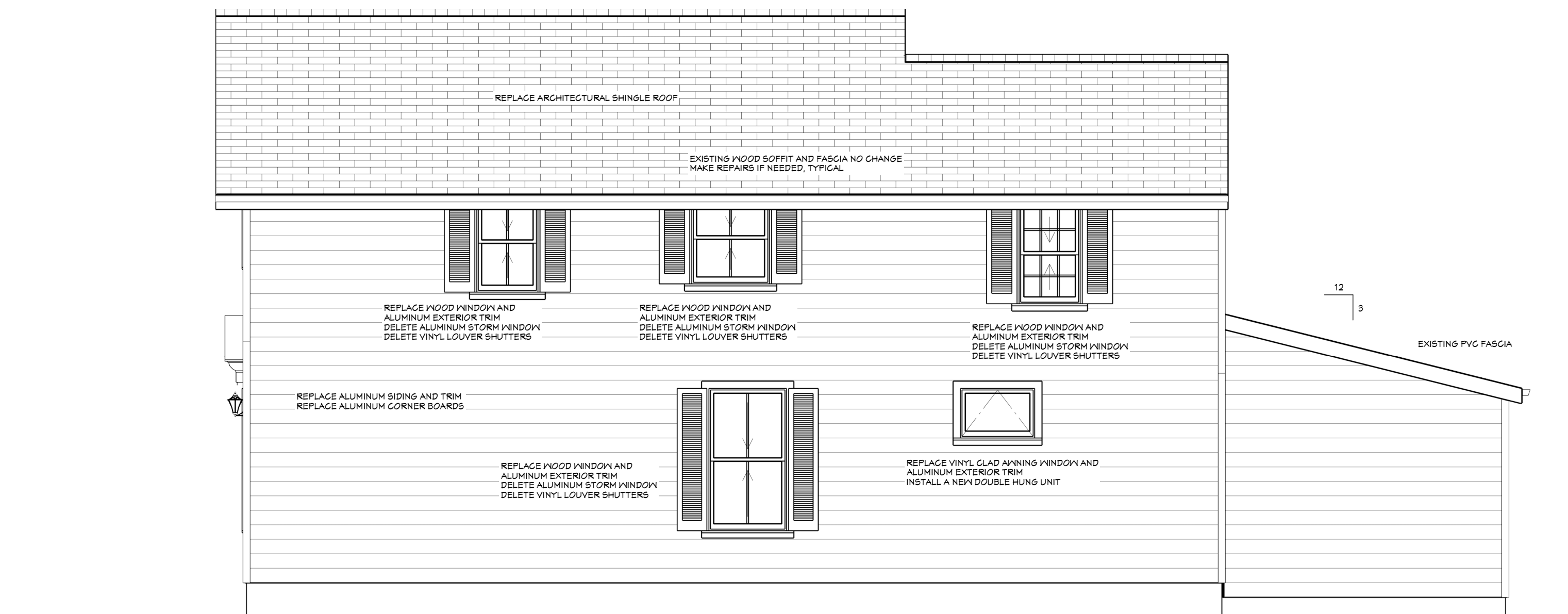
EXISTING LEFT SIDE ELEVATION



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



Design - Build
Remodel
mjhconstruction.com

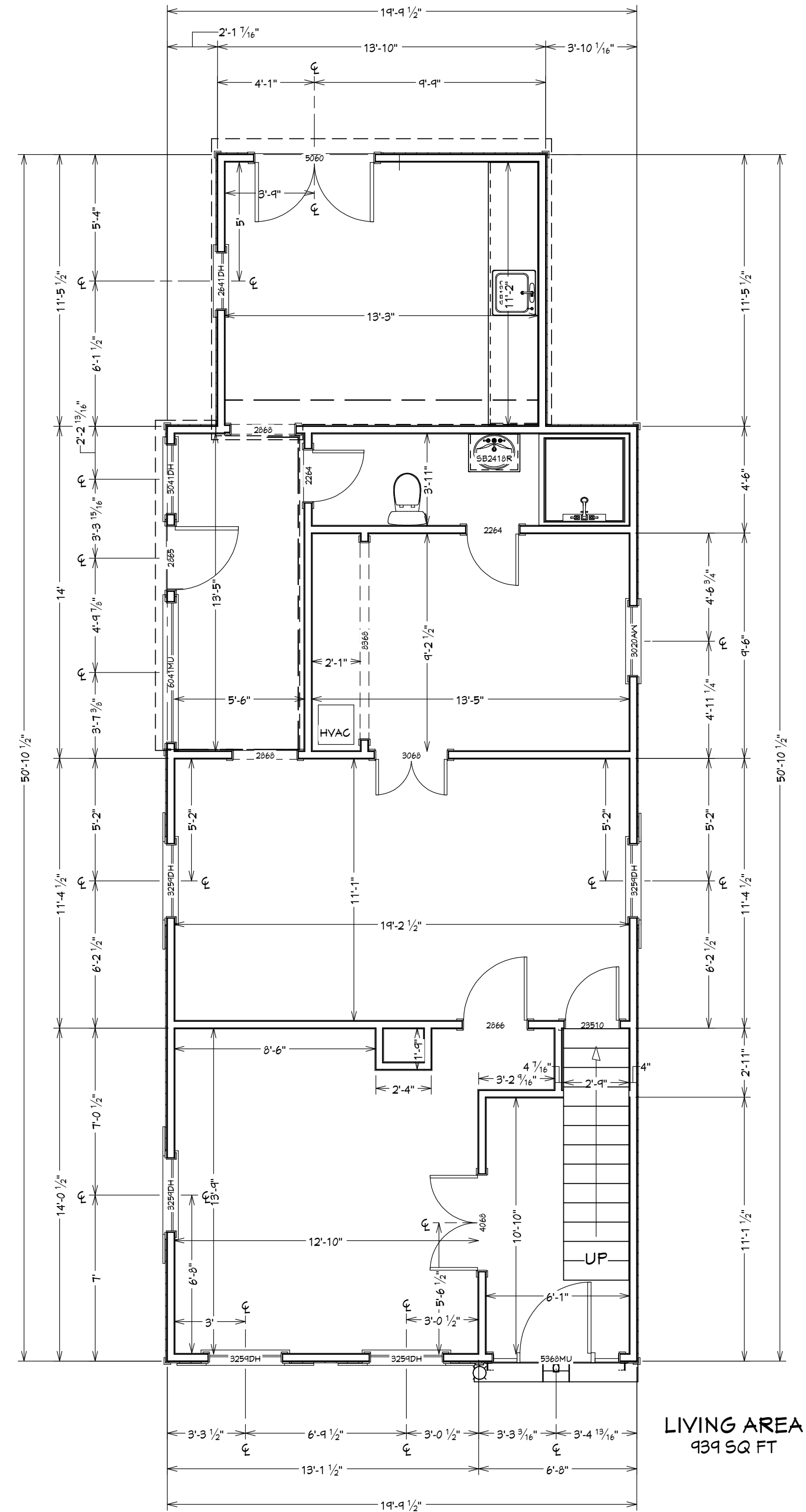
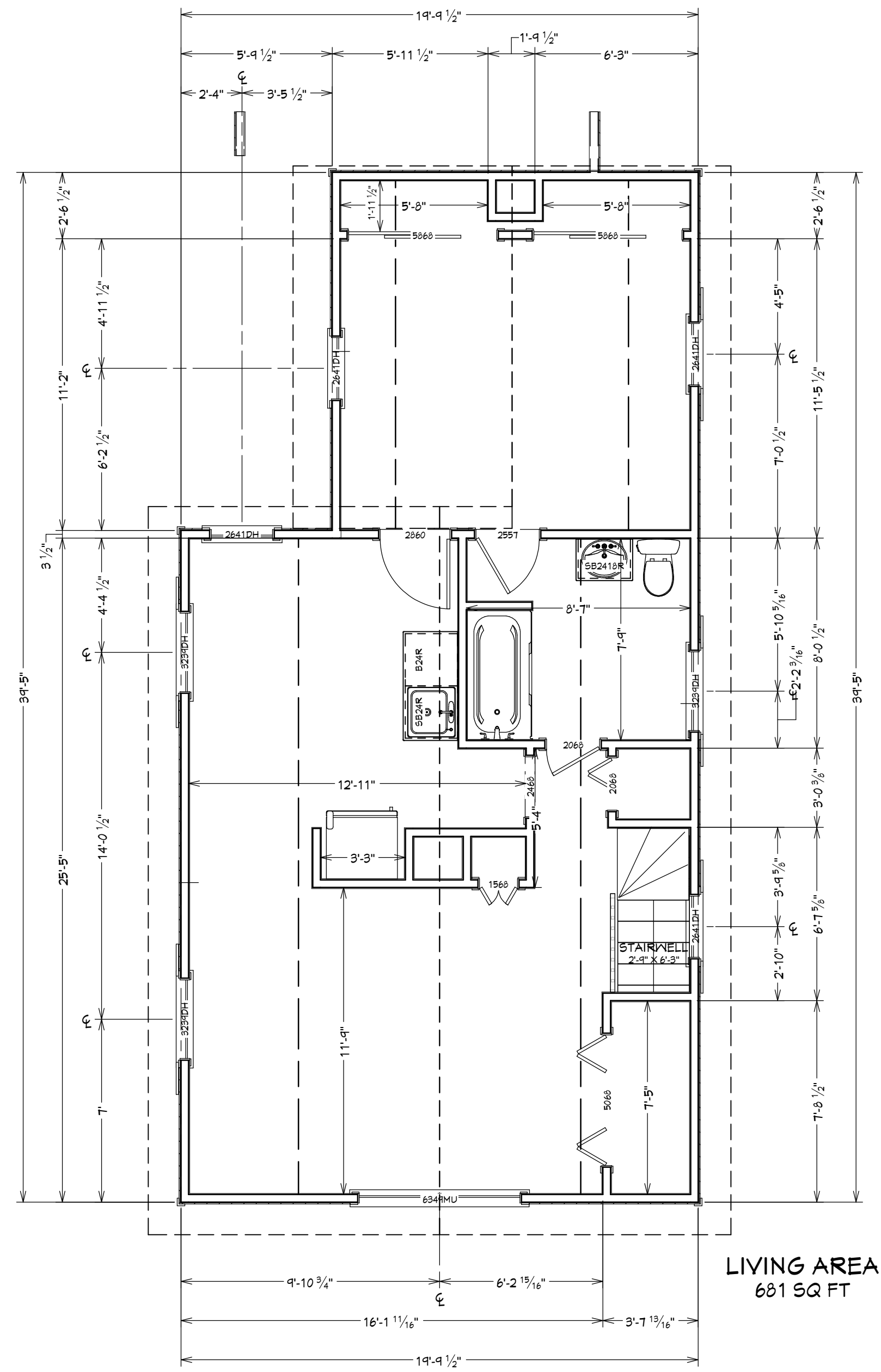
MJH Construction, LLC

8648 Commerce Drive, Suite 400
Easton, MD 21601
410.690.9455

MHIC # 51251 MHRB # 1833

Moon River Investments LLC

33 South Harrison Street
Easton, MD 21601

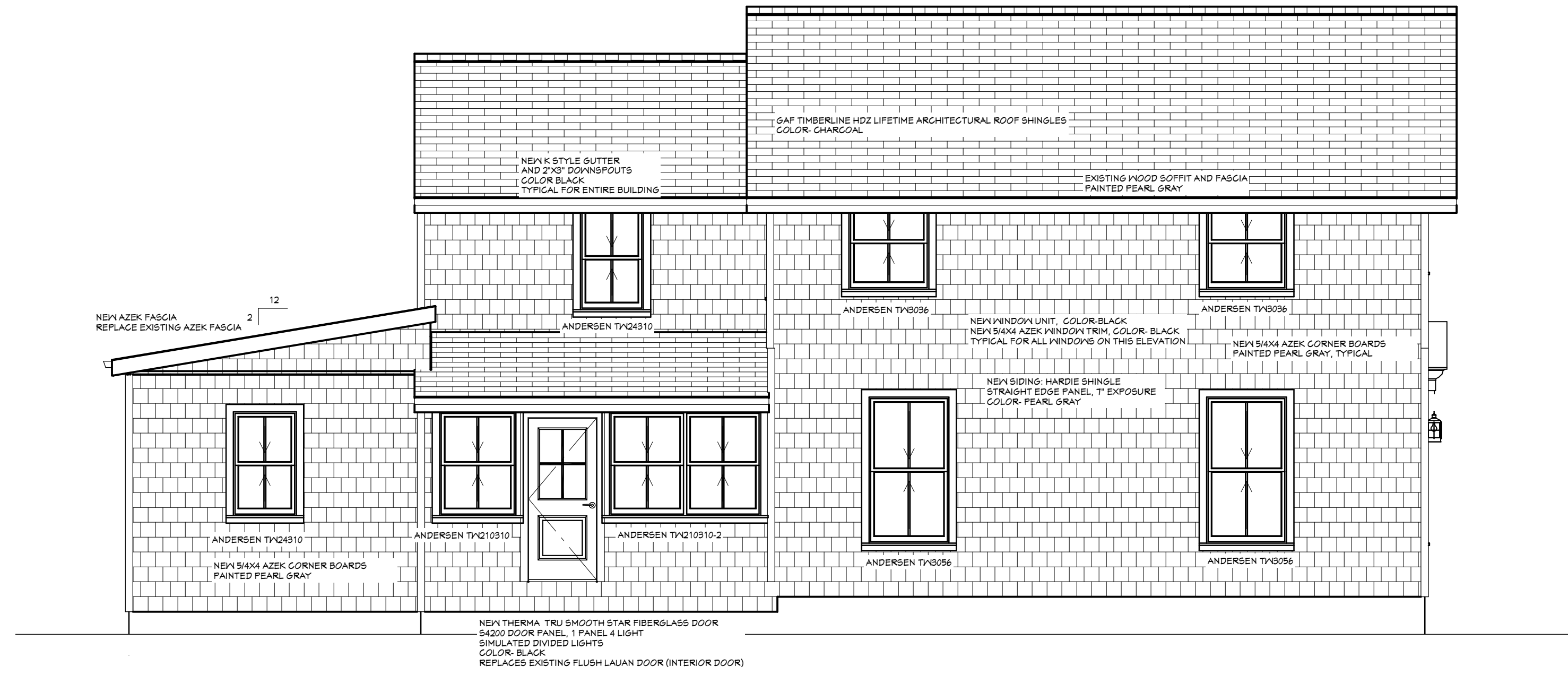


January 30, 2026

SCALE 1/4"=1'-0"

SHEET:

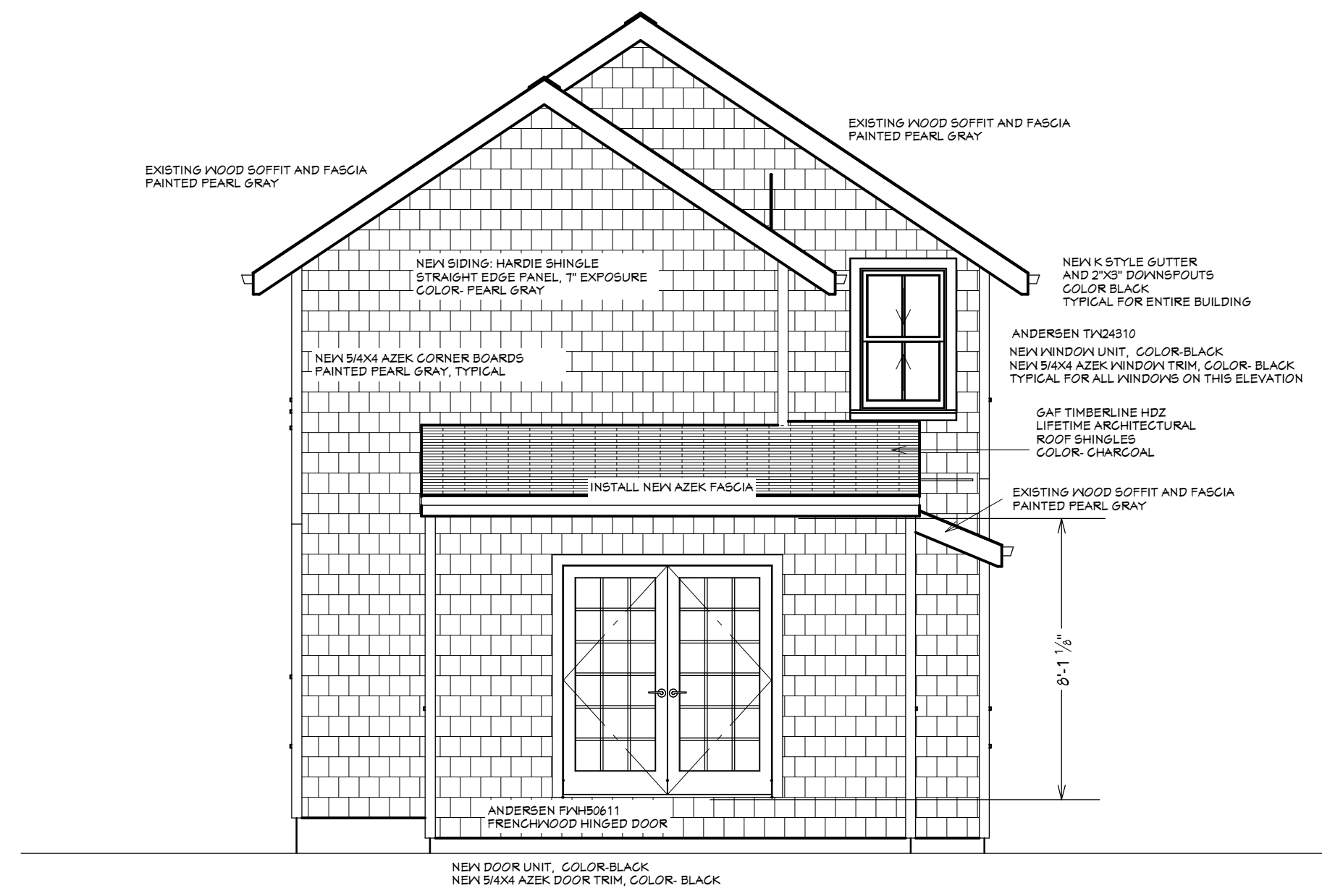
2 OF 5



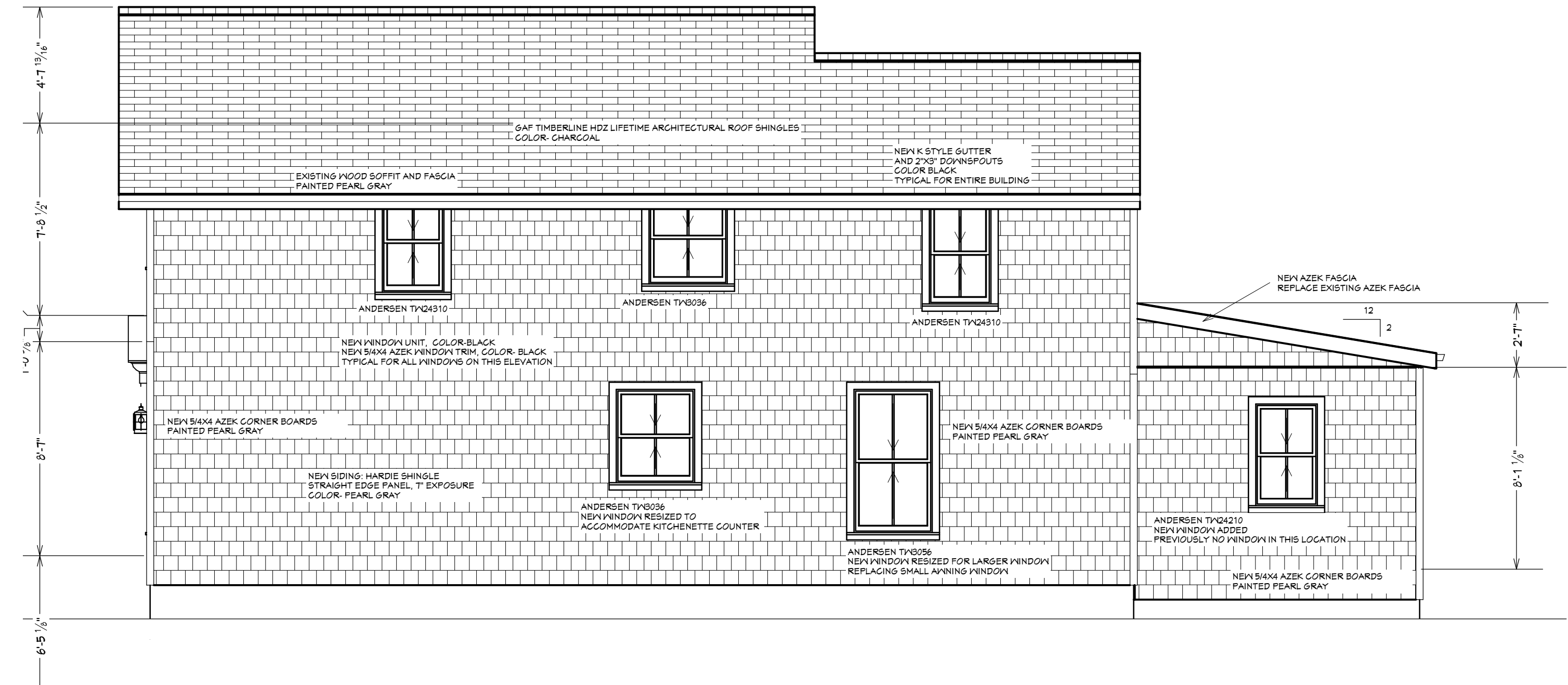
PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED RIGHT SIDE ELEVATION

EXTERIOR SPECIFICATIONS

ROOF: GAF LIFETIME HDZ ARCHITECTURAL SHINGLES, COLOR- CHARCOAL
 SIDING: JAMES HARDIE STRAIGHT EDGE SHINGLE, COLOR- PEARL GRAY
 WINDOWS: ANDERSEN 400 SERIES, 1 1/8" SIMULATED DIVIDED LIGHT GRILLES, COLOR- BLACK
 NEW EXTERIOR TRIM- AZEK OR BORAL (PAINTED), COLOR- PEARL GRAY
 EXTERIOR WINDOW AND DOOR TRIM: COLOR- BLACK
 CORNER BOARDS, SOFFIT AND FASCIA: COLOR- PEARL GRAY
 EXISTING FRONT DOOR AND DOOR SURROUND: PAINT BLACK
 NEW SIDE DOOR: THERMA- TRU SMOOTH STAR FIBERGLASS S4200 DOOR PANEL WITH SIMULATED DIVIDED LIGHT GRILLE, COLOR- BLACK
 GUTTER: 5" SEAMLESS ALUMINUM K STYLE W/ 2"X3" DOWNSPOUTS, COLOR- BLACK



Design - Build
Remodel
mjhconstruction.com

MJH Construction, LLC

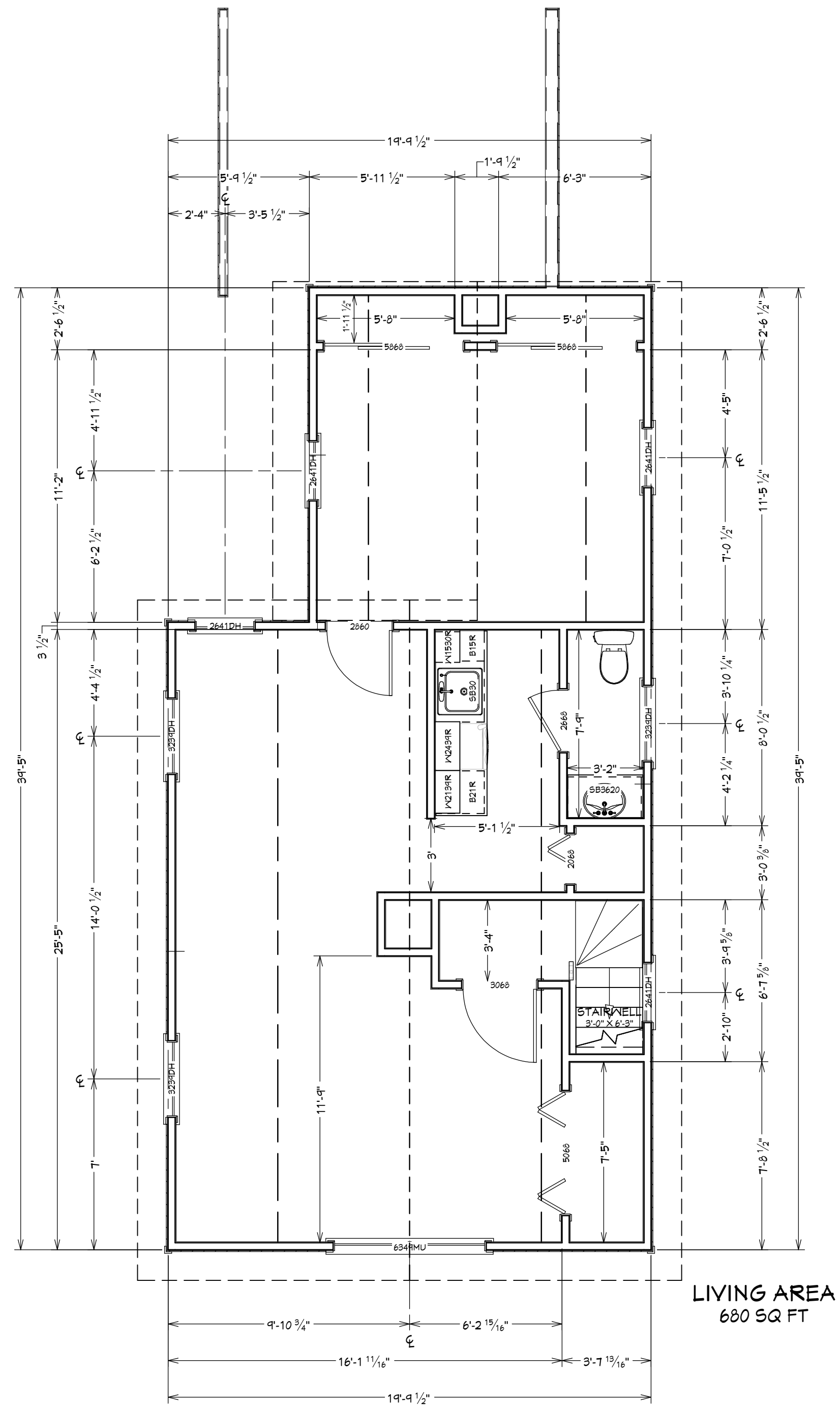
8648 Commerce Drive, Suite 400
Easton, MD 21601

410.640.5455

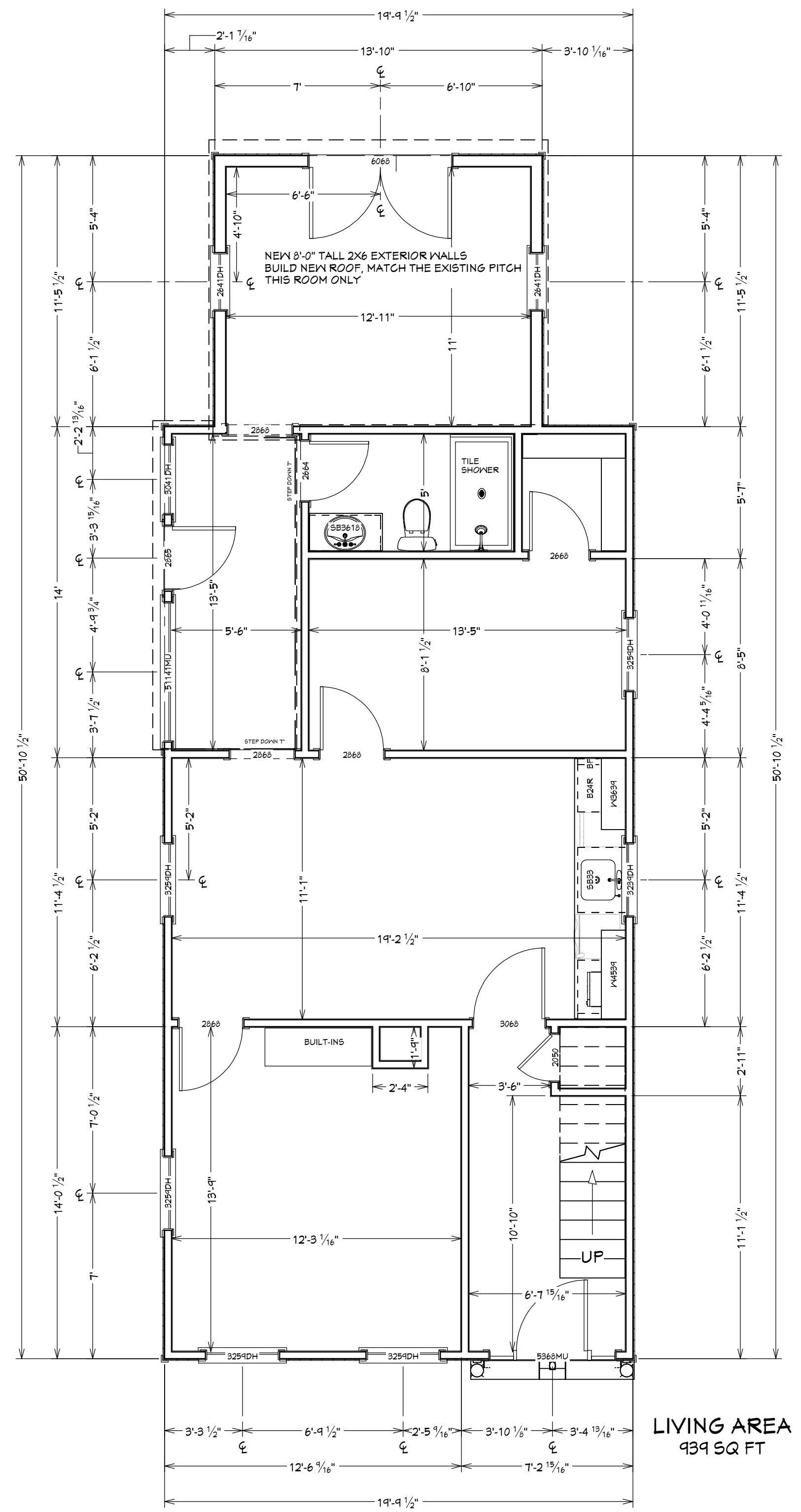
MHIC # 51251 MHRB # 1833

Moon River Investments LLC

33 South Harrison Street
Easton, MD 21601



PROPOSED 2ND FLOOR



PROPOSED 1ST FLOOR

January 30, 2026

SCALE 1/4"=1'-0"

SHEET:

4 OF 5



FRONT ELEVATION



RIGHT SIDE



LEFT SIDE



REAR ELEVATION



SIDING, SOFFIT, FASCIA GUTTER



SIDE DOOR



REAR ELEVATION



REAR ELEVATION



CEDAR SHINGLE UNDER ALUMINUM SIDING



WOOD WINDOW WITH ALUMINUM TRIM VINYL SHUTTERS



ALUMINUM CLAD WINDOW WITH AZEK (PVC) TRIM



WOOD WINDOW WITH ALUMINUM TRIM



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MJH Construction, LLC

8648 Commerce Drive, Suite 400
Easton, MD 21601
410.640.9455

MHIC # 51251 MHRB # 1833

Moon River Investments LLC

33 South Harrison Street
Easton, MD 21601

January 30, 2026

SCALE 1/4"=1'-0"

SHEET:

5 OF 5

Description of Materials
33 South Harrison Street

	A	B	C
1	Material	Existing	Proposed
2			
3	Roofing	Architectural Shingles- Asphalt	GAF Timberline Lifetime HDZ architectural asphalt shingle, Charcoal
4	Gutter	5" K style aluminum (white)	5" K style aluminum, black
5	Downspouts	2"x 3" Aluminum (white)	2"x 3" Aluminum, black
6	Fascia	Painted wood and PVC (Azek)	New and repaired or replacement trim, PVC (Azek) painted Pearl Gray
7	Soffit	Painted wood and PVC (Azek)	New and repaired or replacement trim painted PVC (Azek) painted Pearl Gray
8	Corner Baords	3" Aluminum	5/4 x 4 PVC (Azek) painted Pearl Gray
9	Exterior Wndow Trim	Painted wood, aluminum and PVC (Azek)	5/4 x 4 PVC (Azek) painted black
10	Exterior Door Trim	Painted wood, aluminum and PVC (Azek)	5/4 x 4 PVC (Azek) painted black
11	Windows	Painted wood and aluminum clad units	Andersen 400 Series Wood Sash with Flexacron finish (factory paint), black
12	Front Door and Surround	Painted wood	Not being replaced, paint black
13	Side Door	Flush wood door, painted	Therma Tru Fiberglass skin door, 1 panel 4 light door- painted finish, black
14	Back Door	Wood interior door 15 light French	Andersen 400 Series wood door w/ Flexacron finish (factory paint), 15 Light, black
15	Siding	8" Aluminum over cedar shingles	Hardie Shingle straight edge shingles with 7" exposure, color Pearl Gray
16	Shutters	Vinyl- louvered	Delete shutters



Timberline[®]

America's #1-Selling Shingles



Millions of families find peace of mind under a Timberline[®] roof thanks to the right combination of beauty, performance, and reliability.

We protect what matters most[™]



Choose a system built to protect

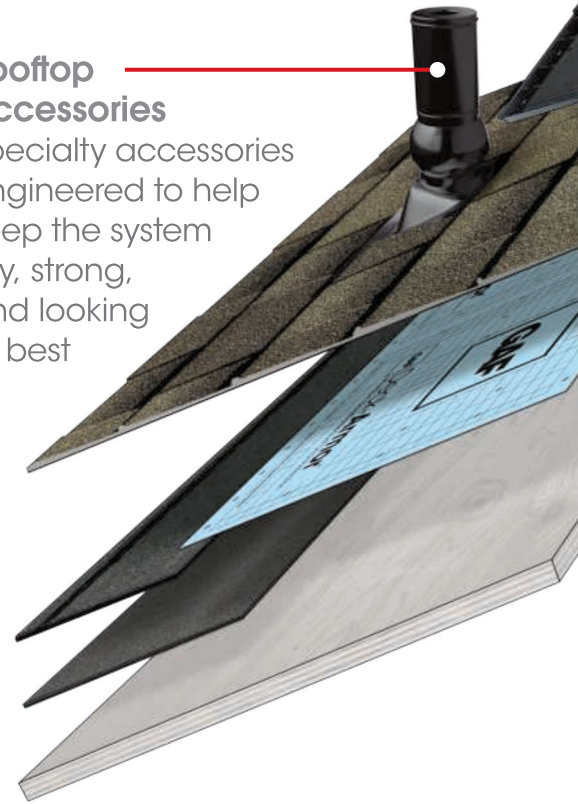
Much more than high-quality shingles, the GAF residential roofing system has multiple layers that work together to provide durable, weather-resistant protection.

Install any GAF Lifetime[†] shingle and any 3 qualifying GAF accessories and get a Lifetime[†] Limited Warranty on your qualifying GAF products plus non-prorated coverage for the first 10 years.

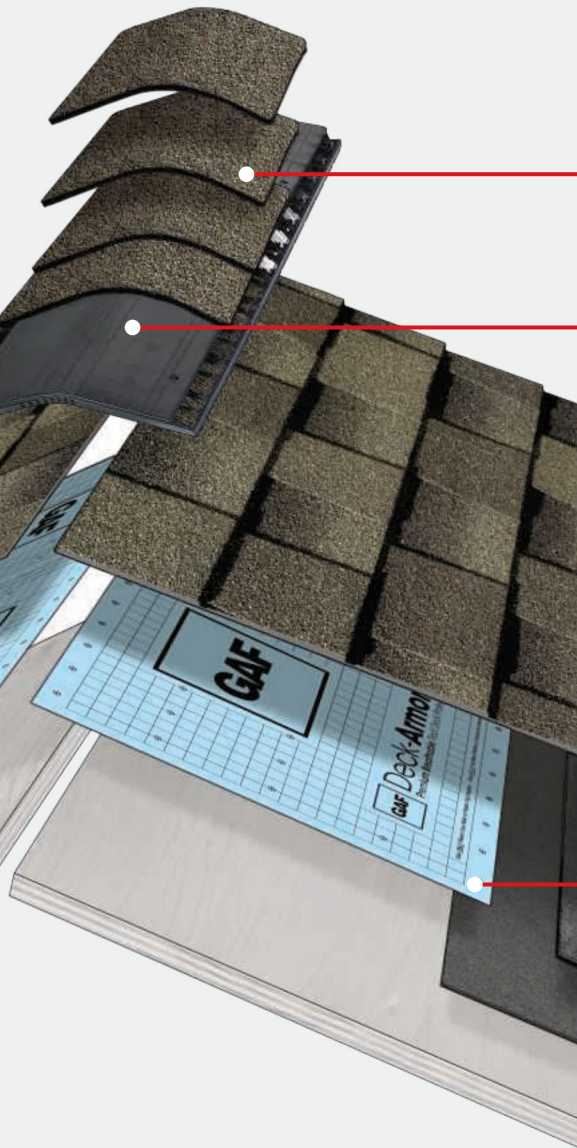
For even stronger coverage, ask your GAF factory-certified contractor¹ about enhanced GAF warranties.

Rooftop Accessories

Specialty accessories engineered to help keep the system dry, strong, and looking its best



[†] Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.



Ridge Cap Shingles

Helps defend against leaks at the hips and ridges

Attic Ventilation

Helps reduce attic moisture and heat

Lifetime⁺ Shingles

Helps beautify and protect for years to come

Starter Strip Shingles

Helps guard against shingle blow-offs

Roof Deck Protection

Helps shield the roof deck from moisture infiltration

Leak Barrier

Helps prevent leaks caused by wind-driven rain and ice dams

Visit gaf.com/system to learn about the GAF Roofing System



¹ Contractors enrolled in GAF certification programs are not employees or agents of GAF, and GAF does not control or otherwise supervise these independent businesses. Contractors may receive benefits, such as loyalty rewards points and discounts on marketing tools from GAF for participating in the program and offering GAF enhanced warranties, which require the use of a minimum amount of GAF products. Your dealings with a Contractor, and any services they provide to you, are subject to the *Contractor Terms of Use*. Visit gaf.com/gaf-contractor-terms-of-use for details.

Timberline HDZ® Shingles

Engineered to be first and built to last, Timberline HDZ® Shingles are eligible for the industry's only wind warranty with no wind speed limit¹ when installed with four required GAF accessories. They also feature algae protection you can see, powering the 25-year limited warranty against blue-green algae discoloration.² Plus, with two distinct color collections, Timberline HDZ® Shingles deliver unrivaled beauty that demands a second look. gaf.com/hdz



High Definition® Colors



Bold Definition Colors



Regionally Available High Definition® Colors



¹ 15-year WindProven™ Limited Wind Warranty covers GAF shingles with LayerLock® Technology only and requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the WindProven™ Limited Wind Warranty, see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

The best homes leave a lasting impression.

#1
Brand of Siding in North America*



Hardie® Plank & Hardie® Shingle Light Mist
Hardie® Trim Arctic White

VIRGINIA, D.C. & BALTIMORE COLOR & PRODUCT AVAILABILITY

NOW FEATURING:
Hardie® Architectural Panel, Hardie™ Architectural Metal Trim & Hardie® Artisan® Trim

Build with the best to protect the beauty of your home.

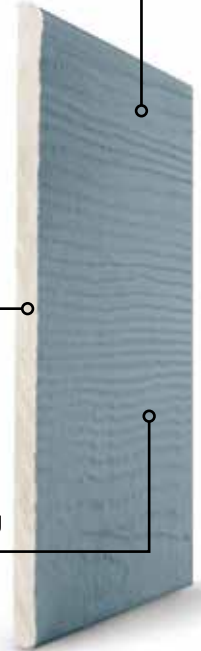
Warm woodgrain texture without the cost and high maintenance of real wood.

TRUSTED PROTECTION WITH HARDIE® FIBER CEMENT.

	HARDIE® SIDING	VINYL SIDING	WOOD-BASED SIDING
Will not burn; noncombustible**	✓	⊘	⊘
Will not melt	✓	⊘	✓
Does not appeal to pests	✓	✓	⊘
Hail and impact resistant	✓	⊘	✓
Resistant to warping, shrinking, and swelling	✓	⊘	⊘
Easily painted	✓	⊘	✓
Real wood look and feel	✓	⊘	✓

5x thicker than vinyl siding provides deep shadow lines and less visible seams.

ColorPlus® Technology finishes are baked on at the factory for a long-lasting consistent finish.



All Hardie® fiber cement products come with a transferable 30-year, non-prorated limited substrate warranty, meaning we stand 100% behind Hardie® fiber cement siding, trim and soffit products for 30 years.

ColorPlus® Technology finishes come with a 15-year limited warranty.

30-YEAR, NON-PRORATED SIDING, TRIM AND SOFFIT SUBSTRATE WARRANTY COVERAGE BY JAMES HARDIE



Scan to learn more about the lifetime value of Hardie® products.

Complete Exterior™ by James Hardie

ONE MATERIAL

Only Hardie® fiber cement products are **Engineered for Climate®**, resisting damage from fire, water, and insects and delivering optimal performance for your home's specific region.

ONE SOURCE

The #1 brand of siding in North America that is made in the U.S.A. With 11 manufacturing sites and nationwide distribution, your product is available when your contractor needs it.

ONE WARRANTY

Rest easy knowing that all your siding, trim and soffit is backed with a 30-year non-prorated warranty from a single trusted manufacturer. One manufacturer to contact makes your life easier, giving you more time to enjoy your home.

(from cover) * Based on Freedonia 2022 Global Siding (Cladding) demand estimates and James Hardie sales in North America.

** Hardie® fiber cement products are noncombustible and/or have a Class A fire rating when tested in accordance with ASTM E84. Fiber cement fire resistance does not extend to applied paints or coatings, which may be damaged or char when exposed to flames. The use of noncombustible siding, combined with other fire mitigation measures, may help harden a home against external fire.



Unmatched performance & protection.



Fire Resistant

Help prepare your home for the unpredictable with noncombustible siding that won't burn or ignite when exposed to a direct flame.

- Verified noncombustible per ASTM E136
- Will not contribute fuel to a fire
- Class A fire rated per ASTM E84, with a flame spread index / smoke developed index of less than 0/5
- Verified in wall assemblies with 1-hour and 2-hour fire-ratings per ASTM E119



Water Resistant

From rain to ice to snow, precipitation patterns can lead to warping, swelling and cracking in wood-based siding. Take shelter from the storm knowing that your siding is built to resist water damage.

- FEMA Class 5 flood damage resistance (highest rating)
- Rated for use in High Velocity Hurricane zones by Miami-Dade County, Florida*

*Applies to most products by James Hardie.
For full list go to: www.jameshardie.com/miami-dade-NOA



Pest Resistant

Creatures can wreak havoc on wood-based siding. It can be pecked by birds or be damaged by woodpeckers, termites and other pests. Hardie® fiber cement holds no appeal for these critters, saving you the maintenance hassle.



Watch our durability videos.



Building a Better Future for All™.



Building a Culture of Sustainability

Throughout our company and across our value chain, sustainability is foundational at James Hardie. Our sustainability goals are integrated into our business operations, governance structure and company culture. We have ambitious targets that align with our purpose of **Building a Better Future for All™**, the issues that matter most to our stakeholders and our overall corporate objectives. From our frontline employees to the builders who use our products, each person plays a role in putting our sustainability initiatives into action.



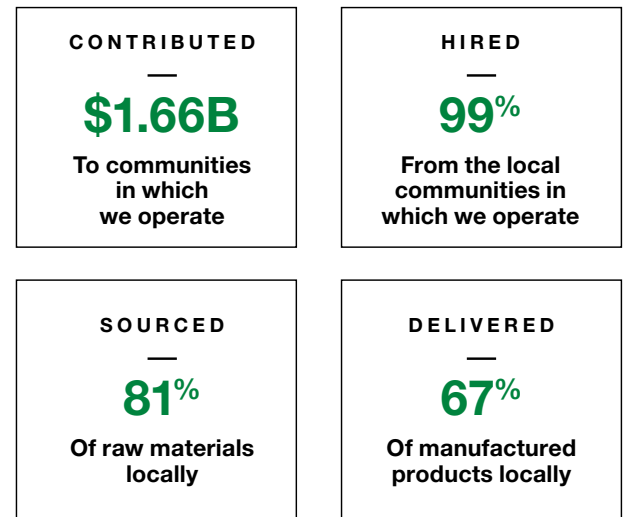
Scan code to find out more about our sustainability efforts.

ADDING VALUE TO OUR COMMUNITIES

We recognize our ability to impact the communities in which we live and work. While maintaining a global mindset, we put great care into how our business affects local communities. We contribute by sourcing, employing, delivering and giving locally.

CREATING AN IMPACT

We invest in the local community and aim to locate the plants close to suppliers, customers and potential new employees, as well as sustainable transportation opportunities.



Above statistics are the James Hardie impact from fiscal year 2024.

SETTING AMBITIOUS GOALS AS RESPONSIBLE STEWARDS



Reducing Scope 1+2 Emission

Reduce absolute Scope 1+2 GHG emissions by 42% by 2030 from 2021 baseline and work towards net zero by 2050



Minimizing Waste

Zero manufacturing waste to landfill by 2035



Recycling Water

Recycle an additional 20M cubic feet of water per year by 2030, compared to 2019

Hardie® Plank

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long lasting beauty that can transform your home's exterior. With a variety of colors, textures, and sizes, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



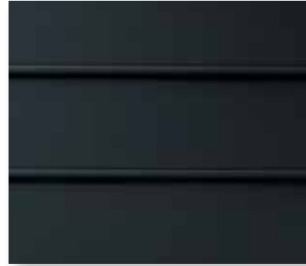
Hardie® Plank Mountain Sage



Hardie® Plank
Smooth



Hardie® Plank
Select Cedarmill®



Hardie® Plank
Beaded Smooth



Hardie® Plank
Beaded Select Cedarmill®

Hardie® Shingle

Restore the look of your grand Cape Cod home or add distinction to your handsome bungalow. Hardie® Shingle embodies the enchanting look of cedar shingles with lower maintenance. You can create your perfect exterior style using Hardie® Shingle around your entire home, or place it in accent areas for an added boost of charm you'll love.

Better than the real thing, Hardie® Shingle resists rotting, curling, warping and splitting.



Hardie® Shingle
Straight Edge Panel



Hardie® Shingle
Staggered Edge Panel



Hardie® Shingle
Staggered Edge
Arctic White

Hardie® Panel

Hardie® Panel delivers style and substance. When combined with Hardie® Trim Batten, it achieves the rustic board-and-batten look that defines your charming cottage or modern farmhouse. Its crisp, clean lines and ability to pair beautifully with other siding products make Hardie® Panel a smart choice for the home of your dreams.



Hardie® Panel & Hardie® Trim Batten
Evening Blue - 2025 Color of the Year



Hardie® Panel & Hardie® Trim Batten
Iron Gray



Hardie® Panel
Select Cedarmill®



Hardie® Panel
Smooth



Hardie® Panel
Stucco



Hardie® Panel
Sierra 8

Hardie® Trim Batten



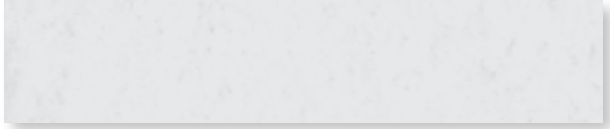
Hardie® Trim Batten
Smooth



Hardie® Trim Batten
Rustic Grain

Hardie® Trim

Hardie® Trim provides design flexibility for columns, friezes, doors, windows and other accent areas. More durable than wood, Hardie® Trim is the perfect option for a long lasting home. Hardie® Trim is a low maintenance and durable accent for your exterior.



Hardie® Trim
Smooth



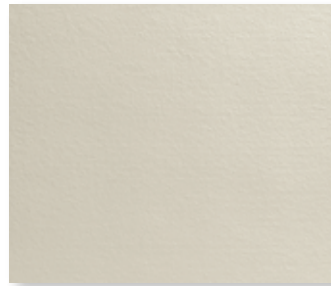
Hardie® Plank Night Gray
Hardie® Trim Arctic White

Hardie® Soffit

A home is only as strong as its most vulnerable areas. With Hardie® Soffit panel, you can live confidently, knowing that the gap between eaves and exterior walls is covered. These panels complete your look and help protect it from moisture and pests.



Hardie® Soffit Vented Smooth
Arctic White



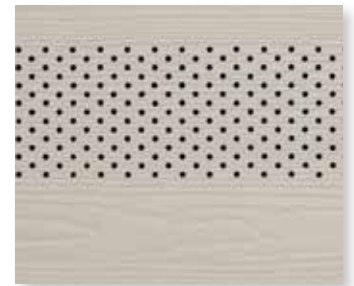
Hardie® Soffit
Non-Vented Smooth



Hardie® Soffit
Vented Smooth



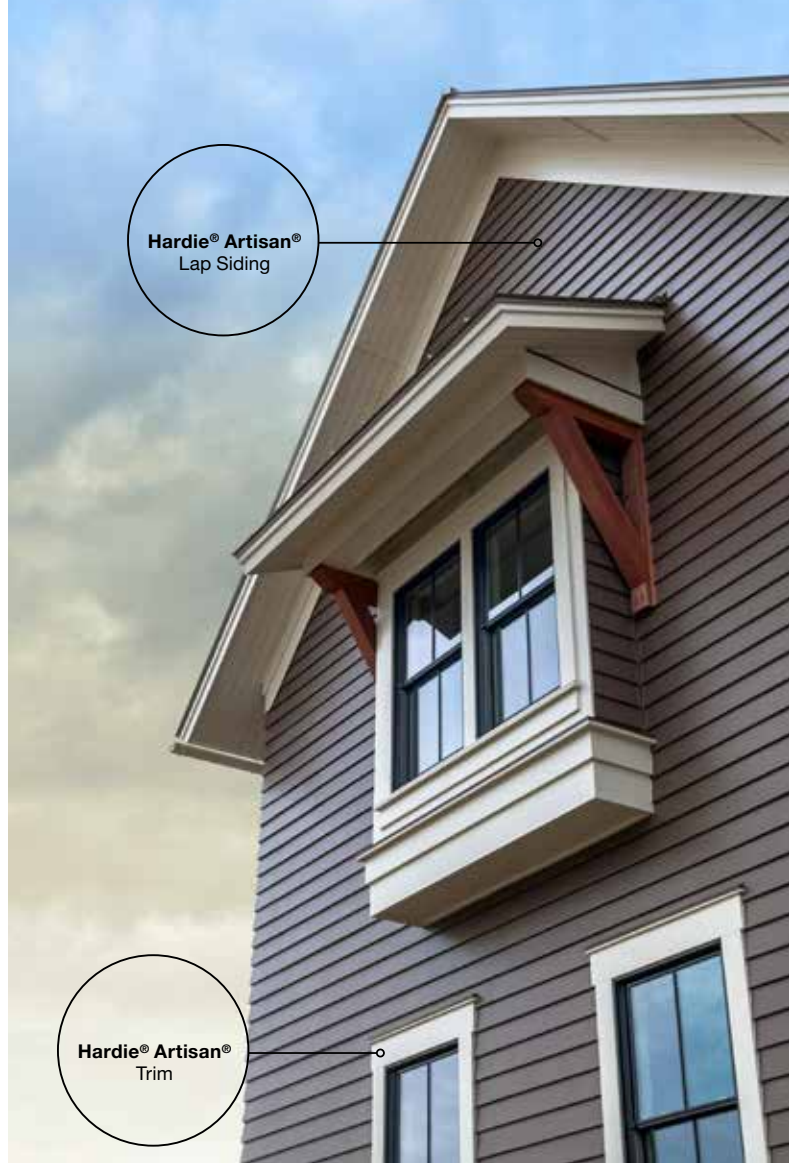
Hardie® Soffit
Non-Vented
Select Cedarmill®



Hardie® Soffit
Vented Select Cedarmill®

Hardie® Artisan® Siding & Trim

Offering gorgeous, deep shadow lines and extra thick boards, Hardie® Artisan® Siding and Trim will set your home apart. The 5/8-inch thickness and unique features of Hardie® Artisan® siding provide precise fit and finish as well as the freedom to miter corners for attractive, streamlined styling.



Hardie® Artisan® Lap Siding

Hardie® Artisan® Trim



Hardie® Artisan® V-Groove



MITERED CORNERS
Add sophistication to your design with mitered corners that can be crafted on-site with any Hardie® Artisan® Siding profile.



LOCK JOINT SYSTEM
Hardie® Artisan® Siding flat wall profiles have a lock joint system that helps enable faster, cleaner installation.



DESIGN FLEXIBILITY
Hardie® Artisan® Siding flat wall profiles can be oriented vertically, horizontally or used as soffit.

Flat wall profiles



Lap Siding



Trim



Shiplap



Square Channel








V-Groove









Hardie™ Architectural Metal Trim






Transition trim

	Low Profile Inside Corner Transition	Use for transition from panel siding to lap siding on an inside corner.
	2-piece J Trim	Use at openings, edges of panels & at metal trim transitions.
	Low Profile Outside Corner Transition	Use for transition from panel siding to lap siding on an outside corner.
	J Trim	Use as a trim at abutments (e.g. soffit, masonry, windows, etc.).
	Vertical Siding H-Mold Transition	Cover vertical joints where you transition from panel siding to lap siding.



Joint & end trim

	Vertical Y Trim	Use along vertical butt joints.
	Vertical H Trim	
	Vertical T Trim	
	Low Profile Horizontal Z Trim	Use along horizontal control joints.
	Horizontal Z Flashing Trim	
	Horizontal Angled T Flashing Trim	

Corner trim

	Low Profile Inside Corner Trim	Use for corners.
	Inside Corner Trim	
	Low Profile Outside Corner Trim	Use for bay windows.
	Low Profile 45° Inside Corner Trim	
	Low Profile 45° Outside Corner Trim	

Base trim

	Raised Reveal Base Trim	Reveal & ledge to rest panels.
	L Base Trim	Low profile starter strip.

Hardie® Architectural Panel

Going from beyond wood-look designs, the clean lines of Hardie® Architectural Panel can help achieve a range of styles from traditional to more modern looks. Infuse your exterior with nature-inspired textures and stucco inspired designs. Mix and match with other Hardie® products to create a unique and beautiful exterior for your home.



Sea Grass

Gentle, linear pattern with a dynamic finish



Fine Sand

Even texture with a consistent finish

All Hardie® Architectural Panel products come with a primed finish



Take pride in timeless beauty.

PRIMER

A quality primer is the first step to ensuring that the paint color you select expresses your home's true beauty now – and for years to come. Our distinctive primer is climate tested and engineered to enhance the performance of paint on Hardie® fiber cement exterior solutions. It helps to provide consistent, long lasting paint adhesion, even in demanding conditions.



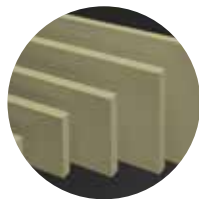
COLORPLUS® TECHNOLOGY

ColorPlus® Technology finishes are fully cured on our boards in a controlled factory environment and arrive at your home ready for installation year-round. With prefinished color products, you'll have peace of mind, knowing you'll have a more consistent color and finish that doesn't depend on good weather.

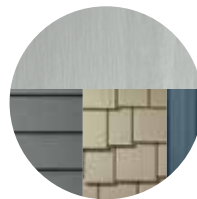
With a variety of color options available to help bring your vision to life, ColorPlus® Technology finishes help keep your home looking beautiful longer.

- Exceptional finish adhesion
- Superior color retention
- Superior UV resistance

Find the perfect finish for your home.



Primed



Statement Collection®



Dream Collection®

ColorPlus® Technology Finishes

Primed & ready to paint	Your region's most popular colors	Nearly 700 finish options
Locally stocked & readily available	Locally stocked & readily available	Made to order in a wide variety of siding & trim styles
		<small>(Made specifically for you, products may incur additional cost and lead time.)</small>

Statement Collection® Color Availability



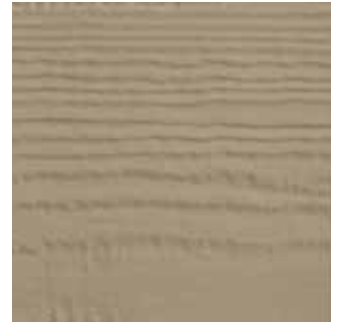
ARCTIC WHITE 1 | 2 | 3



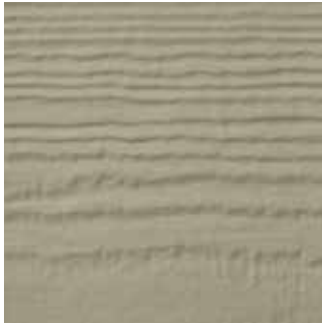
COBBLE STONE 1 | 2



NAVAJO BEIGE 1



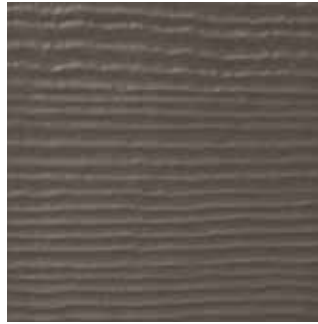
KHAKI BROWN 1



MONTEREY TAUPE 1



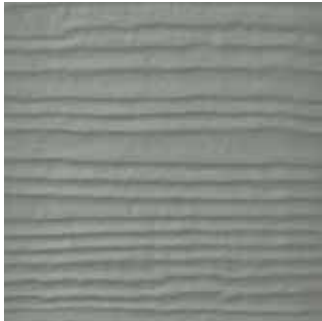
TIMBER BARK 1 | 2



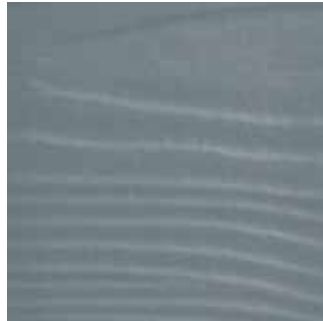
RICH ESPRESSO 1



MOUNTAIN SAGE 1



GRAY SLATE 1



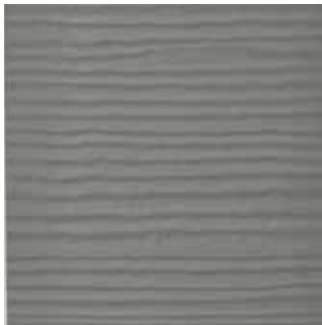
BOOTHBAY BLUE 1



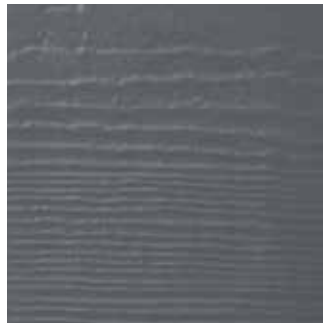
LIGHT MIST 1



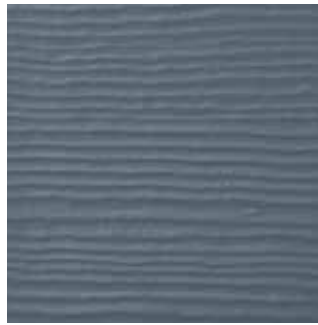
PEARL GRAY 1



AGED PEWTER 1



NIGHT GRAY 1



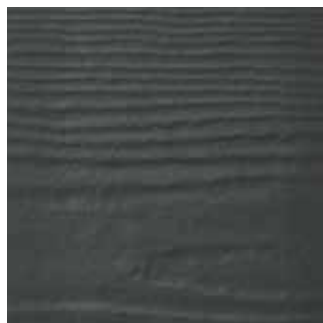
EVENING BLUE 1



DEEP OCEAN 1

PRODUCT AVAILABILITY KEY

- 1 Hardie® Siding**
Hardie® Plank, Hardie® Shingle, Hardie® Panel, Hardie® Trim Batten
- 2 Hardie® Trim**
- 3 Hardie® Soffit**



IRON GRAY 1 | 2



COUNTRYLANE RED 1



MIDNIGHT BLACK 2
(Only available in Hardie® Trim)

	Primed	Statement Collection®	Dream Collection®	Exposure	Primed Pcs/Pallet	ColorPlus® Pcs/Pallet	Pcs/Sq.
--	--------	-----------------------	-------------------	----------	-------------------	-----------------------	---------

Hardie® Plank Thickness 5/16 in.

12 ft. x 5.25 in.	••		••	4 in.	360	324	25.0
12 ft. x 6.25 in.	••		••	5 in.	308	280	20.0
12 ft. x 7.25 in.	••		••	6 in.	252	252	16.7
12 ft. x 8.25 in.	••	••	••	7 in.	230	210	14.3

Hardie® Plank - Beaded Thickness 5/16 in.

12 ft. x 8.25 in.	••		••	7 in.	230	210	14.3
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Hardie® Shingle - Straight Edge Panel Thickness 1/4 in.

48 in. x 14 in.			•	5 in.	-	120	60.0
48 in. x 15.25 in.	•	•	•	7 in.	86	86	43.0

Hardie® Shingle - Staggered Edge Panel Thickness 1/4 in.

48 in. x 15.25 in.	•	•	•	6 in.	100	100	50.0
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Hardie® Panel Thickness 5/16 in.

4 ft. x 8 ft.	••		••	-	50	50	3.1
4 ft. x 9 ft.	••			-	50	-	2.8
4 ft. x 10 ft.	••	••	••	-	50	50	2.5

Hardie® Panel - Stucco Thickness 5/16 in.

4 ft. x 8 ft.	•		•	-	50	50	3.1
4 ft. x 9 ft.	•			-	50	-	2.8
4 ft. x 10 ft.	•		•	-	50	50	2.5

Hardie® Panel - Sierra 8 Thickness 5/16 in.

4 ft. x 8 ft.	•			-	50	-	3.1
4 ft. x 9 ft.	•			-	50	-	2.8
4 ft. x 10 ft.	•			-	50	-	2.5

	Primed	Statement Collection®	Dream Collection®	Primed Pcs/Pallet	ColorPlus® Pcs/Pallet	Pcs/Sq.
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4/4 Hardie® Trim Thickness 3/4 in.

12 ft. x 3.5 in.	•	•	•	312	312	28.6
12 ft. x 5.5 in.	•	•	•	208	208	18.2
12 ft. x 7.25 in.	•	•	•	156	156	13.8
12 ft. x 9.25 in.	•	AW	•	104	104	10.8
12 ft. x 11.25 in.	•	•	•	104	104	8.9

AW- only available in Arctic White in smooth texture.

5/4 Hardie® Trim Thickness 1 in.

12 ft. x 3.5 in.	•	•	•	240	240	28.6
12 ft. x 4.5 in.	•	•	•	200	200	22.2
12 ft. x 5.5 in.	•	•	•	160	160	18.2
12 ft. x 7.25 in.	•	•	•	120	120	13.8
12 ft. x 9.25 in.	•	AW	•	80	80	10.8
12 ft. x 11.25 in.	•	•	•	80	80	8.9

AW- only available in Arctic White in smooth texture.

Hardie® Trim Batten Thickness 3/4 in.

12 ft. x 2.5 in.	••	•	••	437	190	40
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Hardie® Soffit - Vented Thickness 1/4 in.

12 ft. x 12 in.	••	•	••	200	216	8.3
12 ft. x 16 in.	••	•	••	150	156	6.3
8 ft. x 24 in.	••	•	••	100	108	6.3

Hardie® Soffit - Non-Vented Thickness 1/4 in.

12 ft. x 12 in.	••	•	••	200	216	8.3
12 ft. x 16 in.	••	•	••	150	156	6.3
8 ft. x 24 in.	••	•	••	100	108	6.3
8 ft. x 48 in.	••			50	-	3.1

Product Texture Key Smooth • Textured •

Hardie® Artisan® Siding

	Primed	Exposure	Pcs/Pallet	Pcs/Sq.
Lap Siding - Thickness 5/8 in.				
12 ft. x 7.25 in.	•	6 in.	144	16.7
12 ft. x 8.25 in.	•	7 in.	125	14.3
V-Groove - Thickness 5/8 in.				
12 ft. x 8.25 in.	•	7 in.	126	14.3
Shiplap - Thickness 5/8 in.				
12 ft. x 10.25 in.	•	9 in.	105	11.1
Square Channel - Thickness 5/8 in.				
12 ft. x 10.25 in.	•	9 in.	105	11.1
Trim - Thickness 1.5 in.				
12 ft. x 3.5 in.	•	-	192	28.6
12 ft. x 5.5 in.	•	-	120	18.2

Hardie® Architectural Panel

	Primed	Pcs/Pallet	Pcs/Sq.
Fine Sand - Thickness 5/16 in.			
4 ft. x 8 ft.	•	50	3.1
4 ft. x 10 ft.	•	50	3.2
4 ft. x 12 ft.	•	40	2.5
Sea Grass - Thickness 5/16 in.			
4 ft. x 8 ft.	•	50	3.1
4 ft. x 10 ft.	•	50	3.2
4 ft. x 12 ft.	•	40	2.5

All Hardie® Architectural Panels now have a flat edge.

Hardie™ Architectural Metal Trim - Length 10 ft.

Transition trim	Qty	Joint & end trim	Qty	Corner trim	Qty
J Trim	25	Vertical Y Trim	15	Inside Corner Trim	10
2-piece J Trim	25	Vertical T Trim	25	Low Profile 45° Inside Corner Trim	10
Low Profile Outside Corner Transition	10	Vertical H Trim	25	Low Profile Inside Corner Trim	10
Low Profile Inside Corner Transition	10	Low Profile Horizontal Z Trim	25	Low Profile 45° Outside Corner Trim	10
Vertical H-Mold Transition	25	Horizontal Z Flashing Trim	25	Low Profile Outside Corner Trim	10
Base trim		Horizontal Angled T Flashing Trim	25		
Raised Reveal Base Trim	15				
L Base Trim	25				

Hardie™ Moisture Management Products

Hardie™ Flex Flashing

 Thickness 60 mil.

75 ft. x 6 in. | 75 ft. x 9 in.

Hardie™ Pro-Flashing

 Thickness 20 mil.

75 ft. x 4 in. | 75 ft. x 6 in. | 75 ft. x 9 in.

Hardie™ Seam Tape

 Thickness 3.2 mil.

165 ft. x 1 7/8 in.

Hardie™ Weather Barrier

 Thickness 11 mil.

100 ft. x 3 ft. | 100 ft. x 9 ft. | 150 ft. x 9 ft.

INSTALLATION ACCESSORIES



Touch-Up Kits for ColorPlus® Technology finishes



OSI® QUAD® MAX Color-Matched Caulk*



Hardie™ Blade Saw Blades



PacTool® Gecko Gauge

Joint Flashing - Adding flashing behind butt joints provides an extra level of protection against the entry of water at the joint.

Hardie™ Trim Flat Tabs - Eliminate face nails and improve the aesthetic of trim applications around windows, doors and band boards.

Hardie™ Trim Corner Tabs - To eliminate face nail holes that would detract from the finished look of corner trim installations.



*For matching Dream Collection® products, contact your local James Hardie representative. PacTool and PacTool Gecko Gauge are registered trademarks for General Tools & Instruments Company LLC. QUAD MAX is a registered trademark for HENKEL AG & CO. KGAA. Diablo is a registered trademark of Freud America, Inc.



Hardie®
Artisan® Siding
Shiplap

Bring your vision to life.

HARDIE™ DESIGNER,
POWERED BY HOVER

See how beautifully things can come together with the Hardie™ Designer, powered by Hover. Using just one photo of your exterior, you can instantly visualize your home in a variety of architectural styles and product designs.



Start Your Design



What The Best Are Made Of™

1.888.542.7343

jameshardie.com

Hardie® Shingle Siding

Submittal Form

03

Submitted to:
 Project Name:
 Submitted by:
 Date:

- HZ5® Product Zone HZ10® Product Zone
- Product : Straight Edge Panel Staggered Edge Panel
 Half Round Panel Individual
- Product Finish: Primed ColorPlus® Technology
- Product Texture: Select Cedarmill®

Hardie® Shingle Siding

Specification Sheet

03

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBER CEMENT SIDING

HARDIE® SHINGLE SIDING

Manufacturer

James Hardie Building Products Inc.

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Prattville, Alabama
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California
- Summerville, South Carolina

Compliance with the following codes

- 2006 thru 2021 International Building Code (IBC)
- 2006 thru 2021 International Residential Code (IRC)

For more information about other compliances and applicable uses, refer to ICC-ES ESR-2290

Features

- Noncombustible
- Dimensionally Stable
- Resistant to damage caused by pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

Use

James Hardie fiber-cement cladding shingles are used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC).

Description

Hardie® Shingle siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Shingle siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

Available Sizes

Product	Width (in)	Height (in)	Thickness (in)
Shingle Panel 5 inch exposure (Straight edge)	48	14	1/4
Shingle Panel 6 inch Exposure (Staggered Edge)	48	15-1/4	1/4
Shingle Panel 7 inch exposure (Straight Edge & Half Round)	48	15-1/4	1/4
Individual shingles 5 inch exposure	3-1/2, 4-1/2, 5-1/2, 7, 8-3/4	14	1/4
Individual shingles 7 inch exposure	4-3/16, 5-1/2, 6-3/4, 7-1/4, 10	15-1/4	1/4

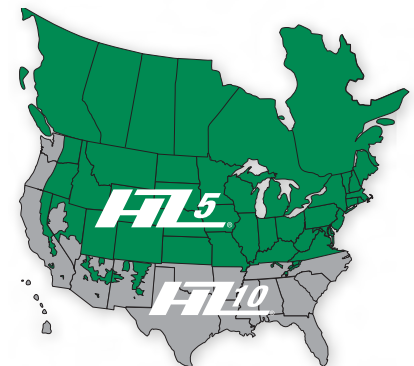
Weight: 2.12 lbs. per square foot

Texture & Finish

Hardie® Shingle siding is available in wood grain texture. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color and exposure availability varies by region.

Engineered for Climate®

Hardie® Shingle siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



Performance Properties

General Property	Test Method	Unit or Characteristic	Requirement	Result		
PHYSICAL ATTRIBUTES	ASTM C1185	Length	± 0.5% or ± 1/4in	Pass		
		Width	± 0.5% or ± 1/4 in			
		Thickness	± 0.04 in			
		Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft			
		Edge Straightness	≤ 1/32 in/ft of length			
		Density, lb/ft ³	As reported		83	
PHYSICAL ATTRIBUTES	ASTM C1185	Water Absorption, % by mass	As reported	36		
		Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
PHYSICAL ATTRIBUTES	ASTM C1185	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
				Equilibrium conditioned, psi	>1450 psi	
THERMAL	ASTM C177	Thermal Conductivity	(BTU/(hr·ft°F))/inch		2.07	
		Actual Thermal Conductivity	(K _{eff})	As reported	6.62	
		Thermal Resistance	R=1/ K _{eff}		0.48	
		Actual Thermal Resistance	(R)		0.15	
DURABILITY	ASTM C1185	Warm Water Resistance	Physical Observations	No visible cracks or structural alteration	Pass	
		Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	ASTM C1185	Freeze/Thaw Resistance	Physical Observations	No visible cracks or structural alteration	Pass	
			Mass Loss, %	≤ 3.0%		
		Freeze/Thaw, % strength retention	≥ 80%			
	ASTM G23	UV Accelerated Weathering Test	Physical Observations	No cracking, checking, or crazing	Pass	
FIRE CHARACTERISTICS	ASTM E84	Surface Burning Characteristics	Flame Spread Index (FSI)		0	
			Smoke Developed Index (SDI)		≤ 5	
			Fuel Contributed		0	
			NFPA Class		A	
			Uniform Building Code Class	As reported	1	
		International Building Code® class		A		
	ASTM E136	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass
ASTM E119	Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1	

Note 1: listed on Warnock Hersey

Installation

Install Hardie® Shingle siding in accordance with:

- Hardie® Shingle siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jurisdiction

Warranty

Hardie® Shingle siding: 30-year, Non-Prorated, Limited Warranty
 ColorPlus® Technology: 15-year Limited Finish Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

Storage and Handling

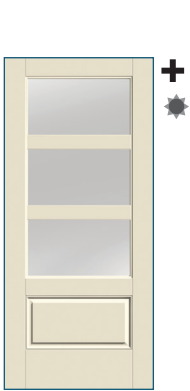
Store flat and keep dry and covered prior to installation.

Technical Services

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051

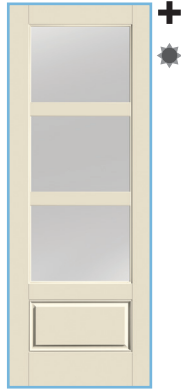
IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. **DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

Smooth-Star.



S5730

2/6	6/8
2/8	6/8
3/0	6/8



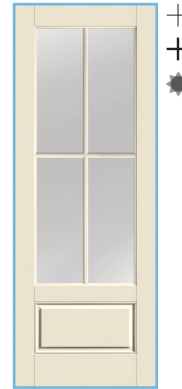
S85730

2/6	8/0
2/8	8/0
3/0	8/0



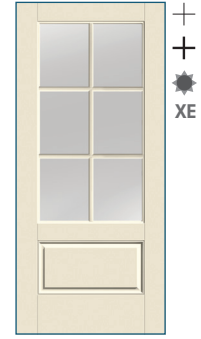
S2103

2/6	6/8
2/8	6/8
3/0	6/8



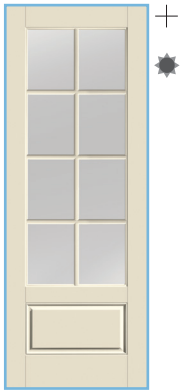
S82103

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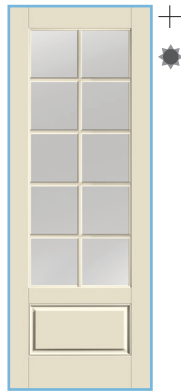
S2104

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3/0	6/8



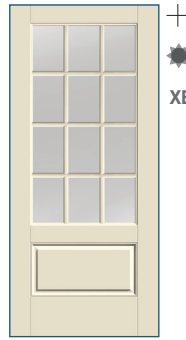
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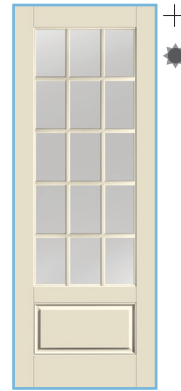
S82106

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3/0	8/0



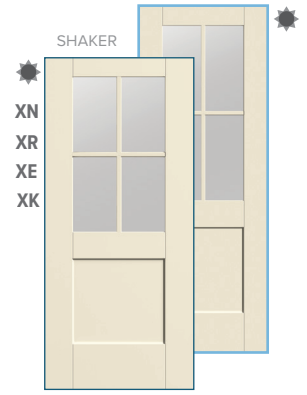
S2250

2/6	6/8
2/8	6/8
3/0	6/8



S82107

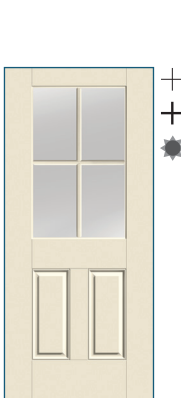
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3/0	8/0



S4200 **S84200**

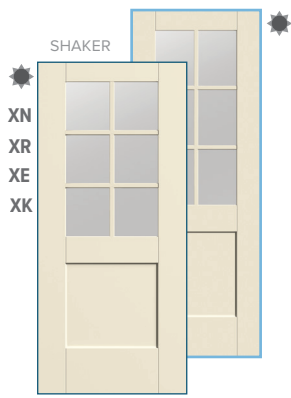
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2/10	6/8	8/0
3/0	6/8	8/0

Selected Door S4200



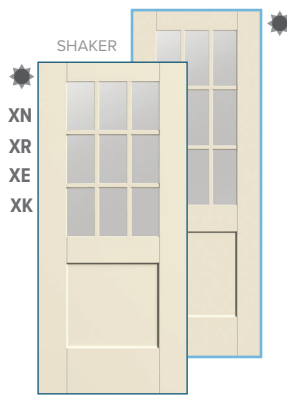
S1350

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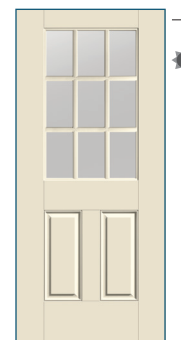
S6200 **S86200**

2/6	6/8	8/0
2/8	6/8	8/0
2/10	6/8	8/0
3/0	6/8	8/0



S9200 **S96200**

2/6	6/8	8/0
2/8	6/8	8/0
2/10	6/8	8/0
3/0	6/8	8/0



S2150

2/8	6/8
3/0	6/8

EnLiten™ Flush-Glazed Designs

Simplified beauty. Resilient designs.

Designs for any entry.

Your door should always welcome you home - while playing seamlessly into your style. Our EnLiten flush-glazed designs create striking profiles that effortlessly combine indoor and outdoor living spaces, inviting in more natural light than ever. The possibilities are endless, giving you doors that perfectly fit your lifestyle.



Flush-Glazed Glass



Lip-Lite Frame

Create a clean look with maximum views.

During manufacturing, glass is built directly into the door with a high-performance adhesive weather seal to reduce the potential for air and water infiltration. This design eliminates the need for a lite frame and screw plugs, achieving a seamless, consistent finish. EnLiten flush-glazed designs offer up to a 16% increase in visible glass area as compared to conventional lite frames, creating an airy, open feeling in the home with larger daylight openings.



Flush-Glazed Glass



Lip-Lite Frame

Superior Sound Dampening

Doors with flush-glazed glass do a better job of dampening outside noise compared to a Lip-lite alternative.

11% More Energy-Efficient

The Low-E glass used in flush-glazed doors delivers a clear view and is 11% more energy efficient than 1/2" Low-E glass in a Lip-lite frame.*

Withstands Winds Up to 167mph

Door systems with flush-glazed glass are designed and tested to withstand wind forces up to 167 mph (DP-50).** (ASTM-E330)

*Comparison of U-factor values of a flush-glazed full-lite door and a Lip-lite full-lite door, both with Low-E glass.

**Must be installed as part of a Therma-Tru door system in compliance with a Therma-Tru product approval. Impact-rated products not available.

***Brand Use Study, 2018 Builder magazine



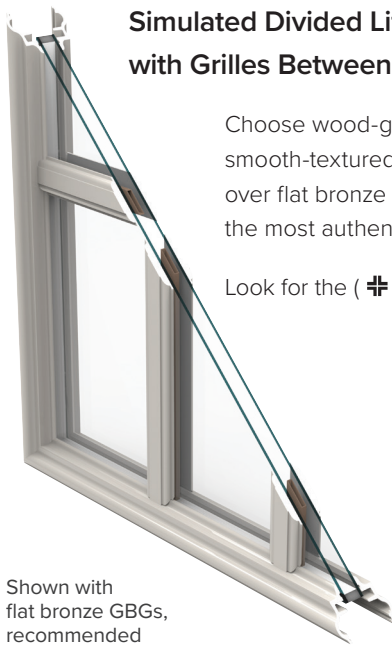
EnLiten flush-glazed designs are backed by the industry's most comprehensive lifetime limited warranty, plus warranty riders for peace of mind - all from the entry door brand building professionals choose most.***

Simulated Divided Lites (SDLs) with Grilles Between Glass (GBGs)

Choose wood-grained or smooth-textured SDL bars layered over flat bronze GBG bars to achieve the most authentic divided lite look.

Look for the (+) icon.

Shown with flat bronze GBGs, recommended



Simulated Divided Lites (SDLs)

Wood-grained or smooth SDL bars are adhered to the interior and exterior panes of tempered glass. Can be stained or painted to complement the door and home.

Look for the (+ + +) icons.



SDL Bar Options

Classic Craft® Fir



(40.64 mm / 1.6 in.)

Look for the + (SDL) icon



(107.96 mm / 4.25 in.)

Look for the + (SDLF3) icon



(139.70 mm / 5.5 in.)

Look for the + (SDLF4) icon

Classic Craft® Canvas



(40.64 mm / 1.6 in.)

Look for the + (SDL) icon

Classic Craft® Mahogany



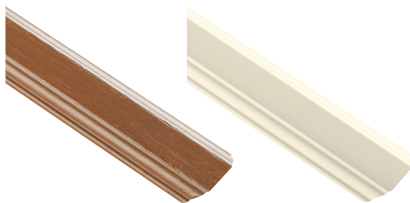
(40.64 mm / 1.6 in.)

Look for the + (SDLF6) icon

**SDLF5 is a mix of SDLF3 and SDLF4

Fiber-Classic®

Smooth-Star®

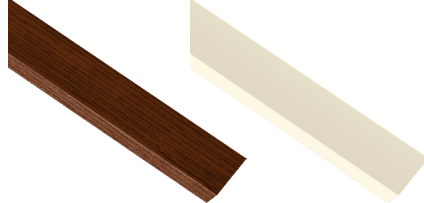


(28.6 mm / 1.125 in.)

Look for the + (SDL) icon

Fiber-Classic®

Smooth-Star®

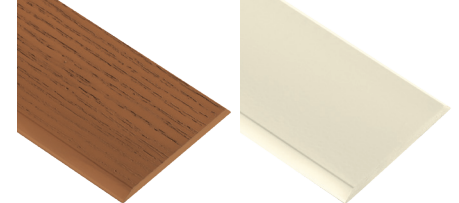


(28.6 mm / 1.125 in.)

Look for the + (SDLF1) icon

Fiber-Classic®

Smooth-Star®



(88.9 mm / 3.5 in.)

Look for the + (SDLF2) icon

Details make the difference

AZEK® Trim

Quality AZEK Trim protects against moisture infiltration and adds the final touch that takes an exterior from good to great. It comes in the sizes and dimensions pros want, with choices of smooth and woodgrain finish in Classic White or reversible smooth/woodgrain with PaintPro® Technology.

12'	16'	18'	20'
-----	-----	-----	-----

5/8 X Thickness

Nominal	Actual				
5/8 x 5 1/2"	5/8" x 5 1/2"	S W		S W	
5/8 x 5 1/4"	5/8" x 5 1/4"	S W		S W	
5/8 x 7 1/4"	5/8" x 7 1/4"	S W		S W	
5/8 x 9 1/4"	5/8" x 9 1/4"	S W		S W	
5/8 x 11 1/4"	5/8" x 11 1/4"	S W		S W	
5/8 x 15 1/4"	5/8" x 15 1/4"	S W		S W	

4/4 X Thickness

Nominal	Actual				
1 x 2	3/4" x 1 1/2"		P	S W	
1 x 3	3/4" x 2 1/2"		P		
1 x 4	3/4" x 3 1/2"	S W	P	S W	
1 x 5	3/4" x 4 1/2"	S W		S W	
1 x 6	3/4" x 5 1/2"	S W	P	S W	
1 x 8	3/4" x 7 1/2"	S W	P	S W	
1 x 10	3/4" x 9 1/2"	S W	P	S W	
1 x 12	3/4" x 11 1/2"	S W	P	S W	
1 x 16	3/4" x 15 1/2"	S W	P	S W	

5/4 X Thickness

Nominal	Actual				
5/4 x 4	1" x 3 1/2"	S W	P	S W	S W
5/4 x 5	1" x 4 1/2"	S W		S W	S W
5/4 x 6	1" x 5 1/2"	S W	P	S W	S W
5/4 x 8	1" x 7 1/2"	S W	P	S W	S W
5/4 x 10	1" x 9 1/2"	S W	P	S W	S W
5/4 x 12	1" x 11 1/2"	S W	P	S W	S W
5/4 x 16	1" x 15 1/2"	S W	P	S W	S W

12'	16'	18'	20'
-----	-----	-----	-----

6/4 X Thickness

Nominal	Actual				
6/4 x 4	1 1/2" x 3 1/2"				W
6/4 x 6	1 1/2" x 5 1/2"				W
6/4 x 8	1 1/2" x 7 1/2"				W
6/4 x 10	1 1/2" x 9 1/2"				W
6/4 x 12	1 1/2" x 11 1/2"				W

8/4 X Thickness

Nominal	Actual				
8/4 x 2	1 1/2" x 1 1/2"		P	S	
8/4 x 4	1 1/2" x 3 1/2"		P	S	
8/4 x 6	1 1/2" x 5 1/2"		P	S	
8/4 x 8	1 1/2" x 7 1/2"		P	S	
8/4 x 10	1 1/2" x 9 1/2"		P	S	
8/4 x 12	1 1/2" x 11 1/2"		P	S	

*AZEK Trim, including 8/4 boards, is not suitable for structural use.

Product Finish Availability Smooth **S** Woodgrain **W** PaintPro **P**

See trim engineered specifically for AZEK Lap Siding on page 24.

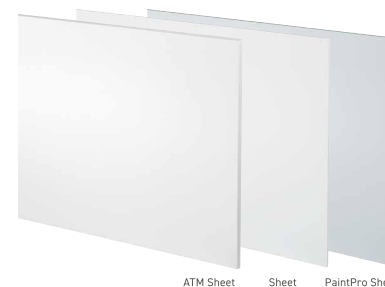




AZEK® Sheet

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

Actual	8'	10'	12'	18'	20'
3/4" x 4'	S W	S W	S	S	
1/2" x 4'	S W P	S W P	S P	S	
5/8" x 4'	S	S	S	S	
3/4" x 4'	S W P	S W P	S	S	
1" x 4'	S	S	S	S	S

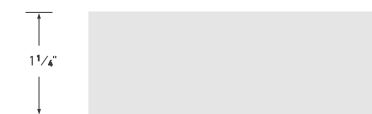


AZEK-to-Mill

ATM's thick profile makes it ideal for fabrication. Its consistent density offers a superior product for milling operations.

Actual	8'	10'	12'	18'	20'
1 1/2" x 9 1/2"				S	
1 1/2" x 3 1/2"				S	
1 1/2" x 5 1/2"				S	
1 1/2" x 7 1/2"				S	
1 1/2" x 9 1/2"				S	
1 1/2" x 11 1/2"				S	
1 1/2" x 48" Sheet	S				
1 1/2" x 48" Sheet*	S	S	S		S

*16' length available in PaintPro®.



Product Finish Availability Smooth **S** Woodgrain **W** PaintPro **P**



Cornerboards

AZEK® Cornerboards offer faster installations and a seamless finish to complement any home exterior. Unlike two-piece cornerboards, which attract dirt in the seam, our one-piece cornerboards feature smooth outside edges to keep dirt away during installation.

10' 20'

Cornerboard

Nominal	Actual	Smooth	Woodgrain	PaintPro
5/4 x 4 x 4	1" x 3 1/2" x 3 1/2"	☑	☑	☑
5/4 x 6 x 6	1" x 5 1/2" x 5 1/2"	☑	☑	☑
5/4 x 8 x 8*	1" x 7 1/2" x 7 1/2"			☑

Rabbeted Cornerboard

Nominal	Actual	Smooth	Woodgrain	PaintPro
5/4 x 4 x 4	1" x 3 1/2" x 3 1/2"	☑	☑	☑
5/4 x 6 x 6	1" x 5 1/2" x 5 1/2"	☑	☑	☑
5/4 x 8 x 8*	1" x 7 1/2" x 7 1/2"			☑

Inside Cornerboard

Nominal	Actual	Smooth	Woodgrain	PaintPro
2 x 2	1 1/2" x 1 1/2"			☑

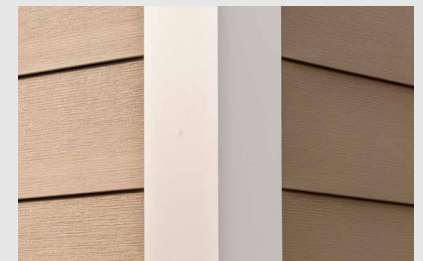
*5/4 x 8" x 8" only available in Traditional

GET A QUICK, SEAMLESS & CLEAN INSTALLATION



⊗ THE PROBLEM

Multiple pieces require more time and labor. Caulk is required to combine two trim boards. Other materials are not approved for ground and masonry contact.



☑ THE SOLUTION

AZEK Cornerboard means no seams, no caulk, and no paint required. Lengths up to 20' make installation faster.

Product Finish Availability Smooth Woodgrain PaintPro

Skirt Boards

The perfect transition between grade and siding, our matte white skirt boards are approved for ground contact without worry or the need for additional flashing or starter strips. The one-piece version (also available with PaintPro®) in either smooth or woodgrain has an integral flange and angled top to help manage water. The universal version is smooth/woodgrain reversible and features a separate metal water management flange that fits into a routed groove.

16'	18'
-----	-----

One-Piece Skirt Board

Nominal	Actual		
4/4 x 8	3/4" x 7 1/2"		W
4/4 x 10	3/4" x 9 1/2"		W
5/4 x 8 x 8*	1" x 7 1/2" x 7 1/2"		W
5/4 x 6	1" x 5 1/2"		W
5/4 x 8	1" x 7 1/2"		W
5/4 x 10	1" x 9 1/2"	P	W

Universal Skirt Board

Nominal	Actual		
5/4 x 6	1" x 5 1/2"		W
5/4 x 8	1" x 7 1/2"		W
5/4 x 10	1" x 9 1/2"		W
5/4 x 12	1" x 11 1/2"		W

1 1/2" nailing flange length & 1/2" drip edge overhang

Integrated Drip Edge

AZEK® Integrated Drip Edge channels water away from window and door surrounds. The two-piece system includes a metal drip edge that fits into a groove routed in the trim board. The board itself is smooth/woodgrain reversible.

		18'
Nominal	Actual	
5/4 x 4	1" x 3 1/2"	W
5/4 x 6	1" x 5 1/2"	W

1 1/2" nailing flange length & 1/8" drip edge overhang

46 | AZEKexteriors.com

SAVE ON INSTALLATION TIME & COST



⊗ THE PROBLEM

Wood trim has failing paint, messy caulk, and is not approved for ground or masonry contact.



⊙ THE SOLUTION

AZEK One-Piece Skirt Board is moisture resistant and approved for ground contact.

Product Finish Availability Smooth **S** Woodgrain **W** PaintPro **P**





MJH Construction, LLC
8648 Commerce Drive, Suite 900
Easton, MD 21601

MHIC# 51251 MHBR# 7833

Agent Authorization

January 29, 2026

Project Address:
33 South Harrison Street, Easton, MD 21601

Owner:
Moon River Investments, LLC
7663 Tred Avon Circle
Easton, MD 21601

Let this letter advise the Town of Easton's Historic District Commission and Building Department that the owners of 33 South Harrison Street, Easton, MD 21601, Moon River Investments, LLC Geoff Turner, President do hereby designate Michael J. Harkowa and MJH Construction, LLC (MHIC# 51251, MHBR# 7833) to be their authorized agent for the Historic District Commission application, design and renovation of the building located at 33 South Harrison, Easton, MD 21601.


Geoff Turner (Jan 29, 2026 14:03:58 EST)

Date: 01/29/2026

Geoff Turner, President
Moon River Investments, LLC

TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

FRAME

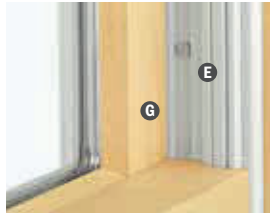
A Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding that minimizes maintenance and provides an attractive appearance.

B Sill members are constructed with a wood core and Fibrex® material exterior for exceptional, long-lasting performance. Sill ends are protected and sealed with weather-resistant covers.

C Natural wood stops are available in pine, and prefinished white, dark bronze and black.**

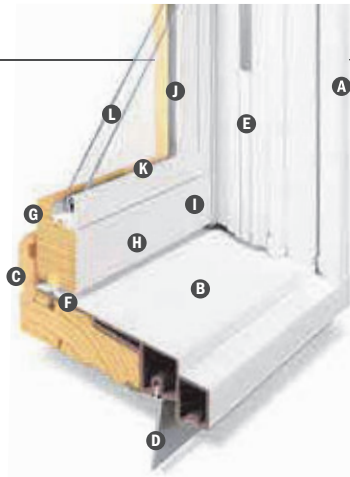
D A factory-applied rigid vinyl installation flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

E An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Jamb liners are available in gray or white, and must be specified when ordering. Contact your Andersen supplier for details.



Unique block-and-tackle balancers feature sized-to-the-unit rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. They automatically lock the balancer into position when sash are tilted into wash mode. Sash can be removed, without tools, for drywall pass-through.

F Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an enclosed foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstrip material compresses against. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.



SASH

Slide wash assists make it easy to tilt the sash into wash mode position.

G Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

H A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

I Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

GLASS

J Glass spacers are available in black, stainless steel and white.

K Silicone bed glazing provides superior weathertightness and durability.

L High-Performance glass options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass
- Low-E4 PassiveSun® HeatLock glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 11 for more details.

*Visit andersenwindows.com/warranty for details.

**Products with dark bronze or black interiors have matching exteriors.

†These finishes are "living finishes" that will change with time and use, see limited warranty for details.

"Flexacron" is a registered trademark of PPG Industries, Inc.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Printing limitations prevent exact replication of colors and finishes.

See your Andersen supplier for actual color and finish samples

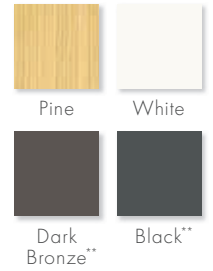
Dimensions in parentheses are in millimeters.

EXTERIORS & INTERIORS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE

TRADITIONAL



Lock & Keeper

Black | Stone | White

Stone finish is standard for pine interiors, and white finish is standard for white interiors. Other finishes are optional.

OPTIONAL HARDWARE Sold Separately

ESTATE™



Lock & Keeper

Antique Brass | **Bright Brass**
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

Estate lock and keeper reduces the clear opening height by 1/16" (14). Consult your local building code official for egress code requirements in your area.

TRADITIONAL



Bar Lift

Available in all hardware finishes. Shown in black.

TRADITIONAL



Hand Lift



Finger Lifts

Available in all hardware finishes. Shown in white.

CONTEMPORARY



Bar Lift

Available in all hardware finishes. Shown in oil rubbed bronze.

Bold name denotes finish shown.

HARDWARE FINISHES



SASH OPTIONS



Cottage Reverse Cottage

PERFORMANCE OPTIONS

Performance Grade (PG) Upgrades

A high inside sill stop* with exterior sill brackets and hidden interior brackets provides additional structural support for tilt-wash windows, allowing standard non-impact glass units to achieve higher performance ratings. PG ratings are more comprehensive than Design Pressure (DP) ratings for measuring product performance. For up-to-date performance information of individual products, visit andersenwindows.com. Use of this option will subtract 5/8" (16) from the clear opening height. PG upgrades are not available for 72" (1829) and 76" (1930) heights. Contact your Andersen supplier for availability.

Coastal Windows

400 Series tilt-wash windows are available with Stormwatch® Protection. Visit andersenwindows.com/coastal or refer to the Andersen 400 Series Coastal Product Guide for more information.



ACCESSORIES Sold Separately

FRAME

Extension Jamb



The base jamb depth is 4 1/2" (114). Extension jambs are available in unfinished pine, maple and oak or prefinished white, dark bronze and black. Some sizes may be veneered.

Factory-applied and non-applied extension jambs are available in 1/16" (1.5) increments between 4 9/16" (116) and 7 1/8" (181). Extension jambs can be factory applied to either three sides (stool and apron) or four sides (picture frame casing).

For overall jamb depths greater than 7 1/8" (181), interior extension jambs are available in 1/16" (1.5) increments between 7 1/8" (181) and 9" (229) for field application. They are available in 8' (2438) and 12' (3658) lineals.

Pine Stool



A clear pine stool is available and ready for finishing. The stool is available in 4 9/16" (116) for use in wall depths up to 5 1/4" (133) and in 6 9/16" (167) for use in wall depths up to 7 1/8" (181). Works with 2 1/4" (57) and 2 1/2" (64) casing widths.

HARDWARE

Window Opening Control Device



A recessed window opening control device is available, which limits the sash travel to less than 4" (102) when the window is first opened. Available factory applied, or as a field-applied kit in white, stone and black.

ENERGY PERFORMANCE PANEL**



A factory-installed energy performance panel provides greater energy efficiency for northern climates while allowing ventilation when needed. Constructed with an aluminum-framed single-pane upper and lower glass panels, and a charcoal powder-coated aluminum screen mesh. Available in white, Sandtone and Terratone to match product exteriors. Canvas, dark bronze, forest green and black are available by special order.

Combination units can improve Sound Transmission Class (STC) and Outdoor Indoor Transmission Class (OITC) ratings, and are ideal for projects near airports, busy roadways and other noisy environments. For example, adding a combination unit to a 400 Series tilt-wash double-hung (size 3862) unit with Low-E4® glass will improve its STC rating from 26 to 32. Contact your Andersen supplier for additional STC and OITC rating information.

A field-applied self-storing storm/ insect screen combination unit** is also available.

ANDERSEN® ART GLASS

Available for 400 Series tilt-wash picture and transom windows. Andersen art glass panels come in a variety of original patterns. For more information, see the Art Glass section starting on page 175 or visit andersenwindows.com/artglass.

INSECT SCREENS

Insect Screen Frames



Full and half insect screens are available for most window sizes. The half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

TruScene® Insect Screens

Our TruScene insect screens let in over 25% more fresh air† and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

Conventional Insect Screens

Conventional insect screens have charcoal gray powder-coated aluminum screen mesh.

GRILLES

Grilles are available in a variety of configurations and widths. See page 18 for details.

EXTERIOR TRIM

Available with Andersen exterior trim. See the Exterior Trim section starting on page 177.

CAUTION: Painting and staining may cause damage to rigid vinyl. Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces. For vinyl painting instructions and preparation, contact your Andersen supplier. Do not paint weatherstrip. Creosote-based stains should not come in contact with Andersen products. Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products. See page 223 for a complete list of cautions.

400 Series Tilt-Wash Double-Hung Full-Frame Windows

*Infringes on the overall net clear opening. The unit clear operable area may not meet egress requirements. Consult your local building code official for egress requirements in your area.

**Installed energy performance panels and combination units may reduce the overall net clear opening. The unit clear operable area may not meet egress requirements. Consult your local building code official for egress requirements in your area.

†TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

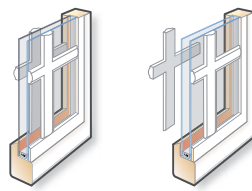
Dimensions in parentheses are in millimeters.

GRILLES

Grille patterns are available in widths and configurations to fit any architectural style, or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.

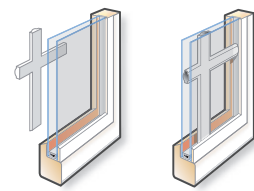


Full Divided Light With Energy Spacer



Simulated Divided Light Options

Permanent grilles on the exterior and interior with no spacer between the glass (left). Permanent exterior grilles with removable interior grilles (right) are available in natural wood or prefinished white.



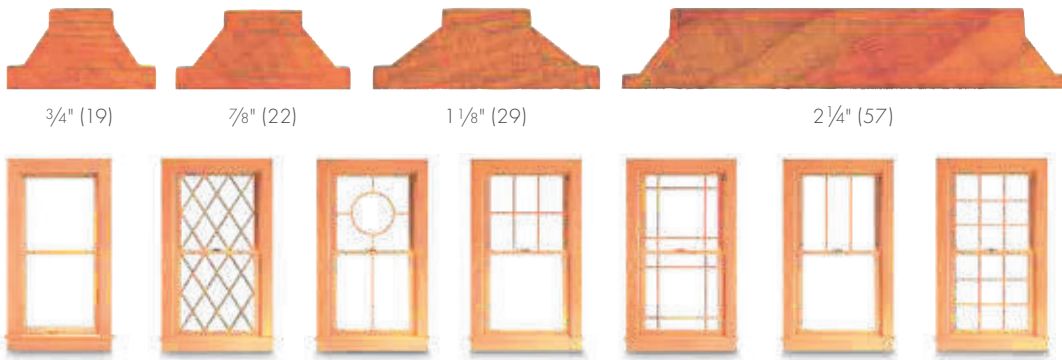
Convenient Cleaning Options

Removable interior grilles come off for easy cleaning (left). Andersen® Finelight™ grilles-between-the-glass** (right) are installed between the glass panes and feature contoured ¾" (19) and 1" (25) profiles.

Full Divided Light Options*

Permanent grilles on the interior and exterior with a spacer between the glass (left). For improved thermal performance, choose full divided light with an energy spacer (right) — a 3 mm gap around a narrow spacer minimizes transfer of heat and cold to the interior glass.

Grille Bar Widths & Patterns†



Actual width shown.

Grilles on casement, awning and Flexiframe® windows ordered with contemporary interior trim stops have a matching contemporary interior grille profile (not shown).

The 2 ¼" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window, or simulate a multi-unit combination such as a transom over a window or patio door.

*Full divided light with an energy spacer is available for most products with dual-pane glass, some size and glass restrictions apply. Full divided light and full divided light with an energy spacer are not available for products with triple-pane glass. Contact your Andersen supplier for more information.
**7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass.

†For all standard patterns available for a specific window or patio door, refer to the detailed product sections in this product guide or contact your Andersen supplier for more information.
Dimensions in parentheses are in millimeters.



PERFORMANCE

As our best-selling products, Andersen® 400 Series line offers a distinct blend of design, reliability and trade confidence. Designed for easy installation for replacement, remodel or new construction projects, 400 Series products feature our Perma-Shield® exterior cladding that revolutionized the window industry. They're also backed by our renowned limited warranty and the largest service network in the industry.

LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield exteriors on Andersen 400 Series windows and patio doors offer superior weather resistance and are virtually maintenance free.

BUILT FOR YEARS TO COME*

Our products are built strong to last long.* We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give our windows and patio doors superior strength, stability and long-term beauty.

RIGOROUSLY TESTED

The exclusive Andersen Perma-Shield system gives our windows and patio doors a tough, protective shell that safeguards the wood inside. It repels water, resists dents* and stays beautiful for years.

PERFORMANCE GRADE (PG) UPGRADE

PG upgrade is available for select sizes of 400 Series casement, awning and tilt-wash double-hung windows. Products with PG upgrade achieve higher air, water and structural ratings as opposed to standard products.



ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 7.0 certified throughout the United States.

Visit andersenwindows.com/energystar for more information and to verify that the product with your glass option is certified in your area.



QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE*

Many other window and door warranties end when a home is sold, but our coverage – 20 years on glass, 10 years on non-glass parts – transfers from each owner to the next. And because it's not prorated, the coverage offers full benefits year after year, owner after owner. So it can add real value when you decide to sell your home.

OWNER2OWNER® LIMITED WARRANTY

KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type seals out drafts, wind and water whatever the weather.

OPTIONS FOR THE HARSHTEST WEATHER

400 Series windows are available with Stormwatch® Protection to meet building code requirements in coastal areas.** Products with Stormwatch Protection are energy efficient, resist the effects of salt water, and stand up to hurricane-force winds and wind-borne debris. For details, visit andersenwindows.com/coastal or refer to the Andersen 400 Series Coastal Product Guide for more information.



*Visit andersenwindows.com/warranty for details.

**Consult your local building code official for code requirements in your area. "ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.



EXTERIORS & INTERIORS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting*, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**



White

Canvas

Sandtone

Terratone

Dark Bronze

Forest Green

Black

INTERIOR OPTIONS**



Pine

Maple

Oak

White

Dark Bronze†

Black†



Design your window at
andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.

**Some products are not available in all colors or wood species. Contact your Andersen supplier for details.

†Most products with dark bronze and black interiors have matching exteriors; see the individual product sections for details.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

ANDERSEN® 400 SERIES WINDOWS

Casement & Awning Windows

Now available with either traditional or contemporary interior trim stops and grilles to match any architectural style.

With thin profiles, easy opening and energy efficiency, it's easy to see why these windows are best sellers. Available as integral twin or triple units, they bring in up to six feet of floor-to-ceiling fresh air. Use them in bay or bow windows, or combine them with coordinating picture, transom or specialty windows.



Complementary Casement Windows

Available in rectangles, trapezoids and curved shapes, and custom sizes in a variety of wood species. French casement windows, with no post between the sash, are also offered.



Woodwright® Double-Hung & Single-Hung Windows

Great for replicating the look of traditional architecture thanks to their classic design, and availability in pine, maple and oak wood species. Use them in bay windows, or combine them with coordinating picture or transom windows. Springline™ single-hung, and arch and unequal leg arch double-hung windows are also available.



Specialty Windows

Add style or create an accent with curved window shapes. Or, choose Flexiframe® windows that can be designed in nearly any shape made of straight lines, provided no angle is less than 14 degrees. Flexiframe windows are often used with casement or awning windows, and can be ordered with contemporary interior trim stops.

Complementary Specialty Windows

An additional 34 uncommon shapes in a variety of wood species.



Tilt-Wash Double-Hung Windows

Extremely energy efficient and our best-selling double-hung window. They balance the timeless look of double-hung windows with modern design options. Use them in bay windows, or combine them with coordinating picture or transom windows.

Gliding Windows

Superior energy efficiency, reliable performance and uncommon beauty. Both sash open for improved ventilation.





ANDERSEN® 400 SERIES PATIO DOORS

Frenchwood® Gliding & Hinged Inswing Patio Doors

Wide wood profiles provide the authentic craftsmanship of traditional French doors. Add blinds-between-the-glass to conveniently control light and privacy. Frame any patio door with our Frenchwood sidelights and transoms.



For contemporary-style patio door options, visit andersenwindows.com/doors.

Complementary Curved Top Patio Doors

Springline™ and arch hinged inswing and outswing patio doors offer dramatic curves. Handcrafted in a variety of wood species. Arch sidelights are also available.



ICC-ES Evaluation Report

ESR-1074


Reissued August 2025

Revised January 2026

Subject to renewal August 2026

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<p>DIVISION: 06 00 00— WOOD, PLASTICS AND COMPOSITES</p> <p>Section: 06 50 00— Structural Plastics</p>	<p>REPORT HOLDER: AZEK BUILDING PRODUCTS LLC</p>	<p>EVALUATION SUBJECT:</p> <p>AZEK® TRIMBOARDS TRADITIONAL, AZEK® MILLWORK, AZEK® TO MILL, AZEK® TRIMBOARDS FRONTIER SERIES, AZEK® SHEETS, AZEK® BEADBOARD, AZEK® CORNERBOARDS, AZEK® UNIVERSAL SKIRT BOARD, AZEK® FINISH GRADE TRIM, AZEK® INTEGRATED DRIP EDGE, AZEK® RABBETED CORNERBOARDS, AZEK® RABBETED TRIMBOARDS, AZEK® COLUMN WRAP, AND AZEK® PAINTPRO TRIMBOARD</p>	
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1.0 EVALUATION SCOPE

1.1 Compliance with the following codes:

- 2024, 2021, 2018 and 2015 [International Building Code® \(IBC\)](#)
- 2024, 2021, 2018 and 2015 [International Residential Code® \(IRC\)](#)
- 2013 [Abu Dhabi International Building Code \(ADIBC\)](#)†

†The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Weather resistance
- Termite resistance
- Surface burning characteristics
- Ignition Resistance
- Structural—negative-transverse wind loads on soffits

1.2 Evaluation to the following green code(s) and/or standards:

- 2025 and 2022 [California Green Building Standards Code \(CALGreen\)](#), Title 24, Part 11
- 2020, 2015, 2012 and 2008 ICC 700 [National Green Building Standard™](#) (ICC 700-2020, ICC 700-2015, ICC 700-2012 and ICC 700-2008)

Attributes verified:

- See Section 3.0

2.0 USES

AZEK® Trimboards Traditional, AZEK® Millwork, AZEK® to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards, AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards, AZEK® Rabbeted Trimboards, AZEK® Column Wrap, and AZEK® Paintpro Trimboards are used as nonload-bearing exterior trim.

3.0 DESCRIPTION

AZEK® Trimboards Traditional, AZEK® Millwork, AZEK® to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards, AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards, AZEK® Rabbeted Trimboards, AZEK® Column Wrap, and AZEK® Paintpro Trimboards are rigid cellular PVC solid cross sections installed as corner boards, soffits, fascias, column wraps, door pilasters, frieze boards, nonload-bearing rake boards, architectural millwork, door trim, and window trim. The material is expanded rigid poly-vinyl-chloride material with a small-cell micro structure.

AZEK® Trimboards Traditional are supplied with a smooth surface on both sides.

AZEK® Millwork is machined from AZEK® Trimboards using common woodworking equipment.

AZEK® Trimboards Frontier Series are supplied with a textured surface on one side and a smooth surface on the other.

AZEK® Trimboards Traditional and AZEK® Trimboards Frontier Series are available in nominal widths of 4 inches to 16 inches and nominal thicknesses of $\frac{5}{8}$, $\frac{1}{4}$, $\frac{5}{4}$ and $\frac{6}{4}$ inches.

AZEK® Sheets are available in 4-foot (1.2 m) widths and in lengths of 8, 10, 12, 18 and 20 feet (2.4, 3.0, 3.6, 5.4 and 6.0 m), with actual thicknesses of, $\frac{3}{8}$, $\frac{1}{2}$, $\frac{5}{8}$, $\frac{3}{4}$ and $1\frac{1}{4}$ inches (9.5, 12.7, 15.0, 19.1, 25.4 and 31.75 mm).

AZEK® Beadboards are available in two nominal sizes, $\frac{1}{2}$ inch thick by 6 inches wide by 18 feet long and $\frac{5}{8}$ inch thick by 4 inches wide by 18 feet long.

AZEK® Cornerboards are available in nominal thicknesses of $\frac{6}{4}$ and $\frac{5}{4}$ inches, nominal outside-corner widths of 4 and 6 inches, and in lengths of 10 and 20 feet.

AZEK® Universal Skirt Board is used to provide a transition between siding and trim, and is a two-piece product that consists of a routed AZEK® Trimboard with a $1\frac{1}{2}$ -inch (33.75 mm) nailing flange and $\frac{1}{4}$ -inch (6.35 mm) drip edge overhang. The AZEK® Universal Skirt Board is available in a nominal thickness of $\frac{5}{4}$ inches, nominal widths of 6, 8 and 10 inches, and a length of 18 feet (5.4 m).

AZEK® Integrated Drip Edge is used to assist in directing water away from window and door surrounds and is a two-piece product that consists of a routed AZEK Trimboard with a $1\frac{1}{4}$ -inch (33.75 mm) nailing flange and $\frac{1}{8}$ -inch (3.18 mm) drip edge overhang.

The AZEK® Integrated Drip Edge is available in a nominal thickness of $\frac{5}{4}$ inches, nominal widths of 4 and

6 inches, and a length of 18 feet (5.4 m).

AZEK[®] Finish Grade Trim is used to provide installation with hidden fasteners (a fastener-free trim surface) and is a two-piece product consisting of a base trim piece and a cover trim piece. AZEK[®] Finish Grade Trim is available in an installed nominal thickness of $\frac{9}{4}$ inches, nominal widths of 4 and 6 inches, and a length of 18 feet (5.4 m).

AZEK[®] Rabbeted Cornerboards and Trimboards are produced with a $\frac{3}{4}$ -inch (19 mm) square removed from each edge. The AZEK[®] Rabbeted Cornerboards are available in a nominal thickness of $\frac{5}{4}$ inches, nominal widths of 4, 6 and 8 inches, and lengths of 10 and 20 feet (3 m and 6 m). AZEK[®] Rabbeted Trimboards are available in a nominal thickness of $\frac{5}{4}$ inches, nominal widths of 4, 6 and 8 inches, and a length of 18 feet (5.4 m).

AZEK Column Wrap consists of three connected panels and a fourth locking panel that secures the Column Wrap in place. AZEK Column Wrap is $\frac{1}{2}$ inch thick and has actual outside dimensions of $4\frac{3}{4}$ inches, $6\frac{3}{4}$ inches, or $8\frac{3}{4}$ inches, and is installed around a nominal 4-by-4, 6-by-6 or 8-by-8 wood column or post. AZEK Column Wrap is available in 10-foot lengths.

AZEK[®] Paintpro Trimboards are available in nominal thicknesses of $\frac{5}{4}$ inches and $\frac{4}{4}$ inch, widths up to 12 inches, and lengths up to 18 feet (5.4 m).

The attributes of the AZEK products have been verified as conforming to the requirements of (i) CALGreen Section A4.405.1.1 for prefinished building materials and Section A5.406.1.2 for reduced maintenance; (ii) ICC 700-2020 Sections 602.1.6 and 11.602.1.6 for termite-resistant materials and Sections 601.7 and 11.601.7 for site-applied finishing materials (iii) ICC 700-2015 and ICC 700-2012 Sections 602.1.6 and 11.602.1.6 for termite-resistant materials and Sections 601.7, 11.601.7, and 12.1(A).601.7 for site-applied finishing materials; and (iv) ICC 700-2008 Section 602.8 for termite-resistant materials and Section 601.7 for site-applied finishing materials. Note that decisions on compliance for those areas rest with the user of this report. The user is advised of the project-specific provisions that may be contingent upon meeting specific conditions, and the verification of those conditions is outside the scope of this report. These codes or standards often provide supplemental information as guidance.

4.0 DESIGN AND INSTALLATION

4.1 General:

AZEK Trimboards Traditional, AZEK[®] Millwork, AZEK to Mill, AZEK[®] Trimboards Frontier Series, AZEK[®] Sheets, AZEK[®] Beadboard, AZEK[®] Cornerboards AZEK[®] Universal Skirt Board, AZEK[®] Finish Grade Trim, AZEK[®] Integrated Drip, AZEK[®] Rabbeted Cornerboards, AZEK[®] Rabbeted Trimboards, AZEK[®] Column Wrap, and AZEK[®] Paintpro Trimboards must be installed in accordance with the manufacturer's published installation instructions and this report.

The manufacturer's published installation instructions and this report must be strictly adhered to, and a copy of the instructions must be available at all times on the jobsite during installation. The instructions within this report must govern if there are any conflicts between the manufacturer's published installation instructions and this report.

4.2 Fasteners:

Fasteners must be stainless steel or hot-dipped galvanized, and must be approved box nails or finish wood screws designed for wood trim and wood siding with a thinner shank. Nails must have blunt points and full-rounded heads. The fasteners must be long enough to penetrate the solid wood substrate a minimum of $1\frac{1}{2}$ inches (38.1 mm). The fasteners located at board ends must be placed no more than 2 inches (50.8 mm) from the end of the board.

When fasteners are installed in pressure-treated wood (preservative or fire-retardant), the appropriate adjustment factors based on the pressure-treated wood manufacturer's recommendations or appropriate code provisions shall be applied to reduce the capacity of the fastener.

Fasteners shall have an appropriate corrosion protection for exterior use and the substrate in which it is installed.

4.3 Surface-burning Characteristics:

4.4 All AZEK products covered under this evaluation report, up to a maximum nominal thickness of $\frac{9}{4}$ inches, and AZEK[®] Finish Grade Trim at a maximum nominal installed thickness of $\frac{9}{4}$ inches, have a flame-spread index of less than or equal to 25 when tested in accordance with ASTM E84. **Termite Resistance:**

All products have demonstrated equivalent termite resistance to that of an approved preservative-treated wood or naturally durable wood in accordance with the code.

4.5 Ignition Resistance:

AZEK® Paintpro Trimboards products between nominal thicknesses of $\frac{5}{4}$ inches and $\frac{4}{4}$ inch and all other products with nominal thicknesses between $\frac{1}{4}$ inch and 1 inch have been shown to comply with NFPA 268 and 2024, 2021 and 2018 IBC Section 1405.1.1.1. Therefore, these products may be used in Types I, II, III, and IV-HT construction per Section 1405.1 of the 2024 IBC (Types I, II, III, and IV construction per Section 1405.1 of the 2021 and 2018 IBC) and the following limitations apply:

- For any fire separation distance, the products shall be limited to installations of 40 feet (12.2 m) in height above grade plan.
- For fire separation distances 5 feet or less, the products in addition to any other combustible exterior wall covering products also complying with Section 1405.1 of the 2024, 2021 and 2018 IBC shall be limited to 10 percent of the exterior wall surface.
- For fire separation distances greater than 5 feet (1524 mm), there shall be no limit on the percentage of the exterior wall surface area.
- Installation must comply with 2024, 2021 and 2018 IBC Section 1405.

4.6 Fire-resistance:

When the products are installed on the outside of a fire-resistance rated wall assembly rated for exposure from the inside, the fire-resistance rating will not be adversely affected.

4.7 Wind Load Assembly—Soffits Using AZEK® Trimboards:

4.7.1 AZEK® Trimboards Traditional, AZEK® Trimboards Frontier Series, and AZEK® Rabbeted Trimboards measuring a minimum of 12 inches by 48 inches (304.8 mm by 1219.2 mm) must be installed on minimum 2-by-4 wood framing SPF stud grade (G = 0.42) spaced 16 inches (406.4 mm) on center. The trimboards are placed with the long direction perpendicular to the wood framing and are fastened to each of the wood members with two $3\frac{1}{4}$ -inch-long (82.55 mm), 16d box nails, located 1 inch (25.4 mm) from the seam/edge of panels. Trimboards nominally 1 inch and $1\frac{1}{4}$ inches thick have a maximum allowable design load of 60 psf (2880 N/m²) suction, negative wind load.

4.7.2 AZEK® Paintpro Trimboards measuring a minimum of 12 inches by 48 inches (304.8 mm by 1219.2 mm) must be installed on minimum 2-by-x4 wood framing SPF stud grade (G=0.42) spaced 16 inches (406.4 mm) on center. The trimboards are placed with the long direction perpendicular to the wood framing and are fastened to each of the wood members with two 8d common nails located $\frac{3}{4}$ inch (19.1 mm) from the seam/edge of panels. Nails must be minimum $2\frac{3}{4}$ inches (69.9 mm) long for nominal $\frac{5}{4}$ -inch-thick trimboards and $2\frac{1}{2}$ inches long (63.5 mm) for nominal $\frac{4}{4}$ -inch-thick trimboards. The trimboards have a maximum allowable design load of 70 psf (3,360 N/m²) suction, negative wind load.

5.0 CONDITIONS OF USE

The AZEK® Trimboards Traditional, AZEK® Millwork, AZEK to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards, AZEK® Rabbeted Trimboards, AZEK® Column Wrap, and AZEK® Paintpro Trimboards described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 This evaluation report and the manufacturer's published installation instructions, when required by the code official, must be submitted at the time of permit application.
- 5.2 The trim must be manufactured, identified, and installed in accordance with this report and the AZEK Building Products instructions.
- 5.3 Except as noted in Section 4.5, the products are limited to the following construction types:
 - 5.3.1 Nonload-bearing exterior trim on buildings of combustible construction (Type V of the IBC).
 - 5.3.2 All construction types permitted under the IRC.
 - 5.3.3 Installation of the products in fire-resistance-rated construction must comply with Section 4.6 of this report.
- 5.4 The product must be installed over solid backing material, such as approved exterior sheathing covered with an approved water-resistant barrier or approved exterior wall covering.

6.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Acceptance Criteria for Rigid Cellular PVC Nonload-Bearing Exterior Trim (AC227), dated December 2019 (editorially revised February 2024).

7.0 IDENTIFICATION

- 7.1 Each package of AZEK® Trimboards Traditional, AZEK® Millwork, AZEK to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards AZEK® Rabbeted Trimboards, AZEK Column Wrap, and AZEK® Paintpro Trimboards described in this report must be labeled with the CPG Building Products LLC name, address and telephone number; the product trade name; and the evaluation report number (ESR-1074).
- 7.2 The report holder's contact information is the following:

AZEK BUILDING PRODUCTS LLC
894 PRAIRIE AVE.
WILMINGTON, OHIO 45177
(866) 862-7832
www.azek.com
info@azek.com

The Most Trusted Online Source for Specialty Roofing, Siding and Ventilation Supplies

Home » Shop All Products » Gable Vents » PVC Gable Vents » Ekena Millwork Vertical Surface Mount PVC Gable Vent

Ekena Millwork Vertical Surface Mount PVC Gable Vent

Item# GVPVE14X2401SN



\$145.15

Width

Length

Available In : Non-Functional

 Functional
 Non-Functional

CLEAR

Return Policy

Due to the manufacturer's requirements, this product is non-returnable. Please review your chosen selections prior to ordering. You can view our shipping and return policy here for more information.

- Surface mount installation is simple and quick, with screws and adhesive

Get \$10 Off

- Many sizes and styles available, to fit the need of any project
- Durable and long lasting, PVC is impervious to exterior elements
- PVC can be easily painted to match existing trim

Order Today and Get It as Soon as Thu. Feb 19th



Free Shipping

This product qualifies for free shipping to lower 48 states.



Made to Order

Typically ships between 7-10 business days.



Hassle-Free Returns

We accept returns on most non-custom products. Visit our Returns page for more information.

Product Summary

Surface mount PVC gable vents are not only long-lasting, durable, and easy to install, they instantly add tremendous value and character to the exterior of a home. Paint the PVC with your chosen exterior color before installation.

PVC gable vents are available in a functional option, to allow air flow, and in a non-functional option, if you want to simply enhance the architectural features of your home. Keep the traditional look of an exterior gable vent, without the downsides of traditional wood, by ordering PVC gable vents. Dimension attribute is the width x height.

Features

- Dimensions: 14"W x 20"H – Frame Size: 3-1/2"W x 1"P – Venting Area: 6 Sq. In.
- Surface mount installation is simple and quick, with screws and adhesive
- Many sizes and styles available, to fit the need of any project
- Durable and long lasting, PVC is impervious to exterior elements
- Functional and non-functional options are both readily available
- PVC paints easily to match existing trim

RoofingDirect.com offers an excellent selection of PVC gable vents made of high quality materials for your next job. Our team has decades of industry experience, and are always willing to help you out. Please contact us, and we'll be able to answer any questions.

Features + Benefits

- Surface mount installation is simple and quick, with screws and adhesive
- Many sizes and styles available, to fit the need of any project
- Durable and long lasting, PVC is impervious to exterior elements
- PVC can be easily painted to match existing trim

Product Specifications

Get \$10 Off

Item #	GVPVE01S	Brand	Ekena Millwork
Warranty	Visit: Download: ekena-millwork-pvc-warranty.pdf	Weight	11 lbs
Material	Expanded Cellular PVC	Material	Expanded Cellular PVC
Brand	TrueCraft	Product Width	14 in.
Product Height	20 in.	Product Projection	1 in.

Product Venting 6 in.
Area

Warranty & Documents

Warranty Information Download

GVSM.pdf Download

Product Reviews

There are no reviews yet

< Add a review

Ekena Millwork Vertical Surface Mount PVC Gable Vent

Rating *

★★★★★

0/5

Your review

Add photos or video to your review

I'm not a robot

reCAPTCHA
[Privacy](#) • [Terms](#)

Get \$10 Off



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 2/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 207 S Aurora Street

Applicant: Thomas Huntington on behalf of Pet and Janet Doyle

Application Number: 2026-1644

Code Enforcement Case: Yes No

Project Description:

The applicant is seeking approval to construct a 14-foot wide by 12-foot deep side porch. In order to construct the porch, an existing window will need to be removed and converted to an entryway. Proposed materials for the project include the following:

- **Decking:** Timbertech PVC (Porch Collection)
- **Railing:** Vinyl – Square Balusters
- **Roof:** Architectural Asphalt Shingles
- **Door:** French Doors (Unspecified Material)
- **Skirting:** Not Specified
- **Trim:** Composite Material
- **Fascia & Soffit:** Vinyl
- **Gable End:** Not Specified

This structure is considered a **contributing** structure to the Easton Historic District.

Historic District Guidelines:

Guideline 44. Adding New Doors

- a. Avoid adding a new door to a front façade.
- b. Install additional doors, when needed, at the side or rear of the property. Avoid converting historic windows to door openings, especially where visible from the public-right-of-way.

Guideline 66. Adding New Porches



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

- a. Avoid adding a new porch to the front façade of a contributing building unless historical evidence exists to indicate a porch previously existed.
- b. A new porch may be added to a side or rear façade if it is designed to be compatible with the overall character of the building.

Guideline 67. New Rear Decks and Patios

- a. New decks and patios should be located so they are not visible from the primary right-of-way. Avoid locating decks and patios so they are visible from a primary right-of-way, employ landscaping and other screening measures as necessary.
- b. New decks and patios should be designed to be compatible with the architectural style, scale, form, and materials of the main building on the property.
- c. Alternate materials may be used on side or rear construction.



Figure 51: Many historic homes were constructed with rear or side porches. When visible from the public right-of-way, new porches should integrate with the setting.

Appendix B.2 Common Substitute Materials (Porch and Deck)

Composite materials are made from a mix of plastic and wood fibers. The material is manufactured for use as porch and deck floorboards and stair treads. These materials are formed into planks to imitate wood decking and are installed in a manner similar to traditional wood planks. The product is sometimes available in a paintable finish. Use of composite decks and staircases is **appropriate for installations in the rear of the property**. In non-contributing buildings, it may be appropriate for use in flooring and stair treads on front porches if the



material closely matches the original in profile, dimension, finish, and overall appearance, or if the porch floor is not significantly visible from the right-of-way.

It is generally not appropriate to replace concrete or brick masonry stairs or porches with wood or composite materials. Concrete and brick or stone masonry porches should be repaired or replaced in-kind. Alternative proposals will be evaluated on a case-by-case basis.

Fiberglass is commonly used to replicate decorative features, such as columns and balusters. Fiberglass columns are available in a variety of shapes and sizes. Round and square profiles are available, as are columns that mimic the classical orders (Doric, Ionic, Corinthian, etc.), and designs mimicking the square, tapered columns found on Craftsman style bungalows. Similarly, fiberglass railings are available in a range of styles and profiles. Fiberglass columns and railings are typically more expensive than their wood counterparts. A fiberglass replacement column or railing may be appropriate if it closely matches the design and proportion of the original elements.

Vinyl is another common material for replacement columns and railings, which are available in a variety of designs. They are used for new construction and are most appropriate for buildings constructed in the late-20th century and later. Like vinyl windows, vinyl porch columns and railings are susceptible to fading and warping as a result of UV exposure and have a relatively short lifespan. The dimensions of vinyl columns typically do not match historic proportions or details and **their use on historic buildings is discouraged.**

Staff Analysis:

The proposal to construct a new porch on the side elevation of this home is consistent with Guideline 66b which recommends placing new porches on the side or rear elevation (if its design is compatible with the building). The porch design has some notable differences from the historic front porch. Most notably, the front porch has round columns with brick piers and a hipped roof. The proposed porch proposes square posts, concrete piers, and a gable roof. The proposal also involves converting a historic window opening to a door opening which may be inconsistent with Guideline 44b.

As this porch will be visible from S Aurora Street, the proposed materials may not be consistent with Appendix B.2. Specifically, the hollow vinyl railing and vinyl fascia & soffit are



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

inconsistent with the Guidelines. The Commission will also need to determine if composite decking is appropriate for this elevation given it will be visible from S Aurora Street.

Draft Motions:

1. I move that the Historic District Commission **approve** the application based on the following findings...

OR

2. I move that the Historic District Commission **deny** the application based on the finding that the project is inconsistent with Guidelines 44b, 66b, 67, and Appendix B.2

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101012088		207 S AURORA ST		FRAME MICHAEL C			
YEAR BUILT		PHYSICAL CONDITION					
1900		VERY GOOD					
ARCHITECTURAL STYLE				ADDITION(S)			
QUEEN ANNE							
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		y	
NOTES							
2 1/2 STORY 2 BAY GABLE FRONT DWELLING WITH 2 STORY SIDE CROSS GABLE PROJECTION 1/1 WINDOWS APPEAR TO BE REPLACEMENTS BUT GLAZED AND PANEL DOOR IS ORIGINAL. WALLS SHEATHED IN ASBESTOS SHINGLES. 2 CAR GARAGE APPEARS MODERN BUT MATCHES HOUSE NICELY.							



RECEIVED

FEB 09 2026

TOWN OF EASTON
PLANNING AND ZONING TOWN OF EASTON
14 SOUTH HARRISON STREET, EASTON, MD 21601

Table with application details: Application #: 2026 - 1644, Date Received: 02/09/2026, Fee Paid: \$75.00, HDC Meeting Date: 02/23/2026, Date Property Posted: 02/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE (PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER
NEW CONSTRUCTION ADDITION EXTERIOR ALTERATIONS
FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS 207 S. AURORA ST.
Contributing Non-Contributing YEAR BUILT: 1900 NATIONAL REGISTAR #

PROPERTY INFORMATION

OWNER NAME PETE AND JANET DOYLE
TELEPHONE NO. EMAIL

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME THOMAS HUNTINGTON
TELEPHONE NO. EMAIL

Description of Proposal (include additional sheets, as necessary)

BUILD 12X14 PORCH ADDITION, TREATED FRAMING, COMPOSITE DECKING AND RAIL, COMPOSITE LATTICE BELOW, 6X6 POSTS/WALLS, EXPOSED RAFTERS, EXPOSED 2X6 TONGUE & GROOVE ROOF SHEATHING, ARCHITECTURAL SHINGLES, IN SECT 5 AREA.

Specific Requirements

- The payment of fees is due at the time of application submittal. As of July 1, 2025, the fees are as follows: Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent
Date 2/8/2026
Printed Name of Applicant or Agent THOMAS L. HUNTINGTON

Revised 4.4.2022

HUNTINGTON CONSTRUCTION LLC

Date: 2/8/2026

Description of Project:

Pete and Janet Doyle, owners of 207 S. Aurora St. in Easton, have requested I apply for a permit on their behalf to build a screen porch on the side of their home.

Specs:

The porch is to be 14' wide and 12' deep.

The concrete footers will comply with current code requirements with 6 x 6 treated posts supporting the treated deck framing.

Composite lattice will be installed below the deck as shown in drawing.

The deck surface will be Timbertech by Azek composite porch floor boards

The railing will be composite Endurance Rail with square balusters between 6 x 6 treated posts wrapped in pvc board

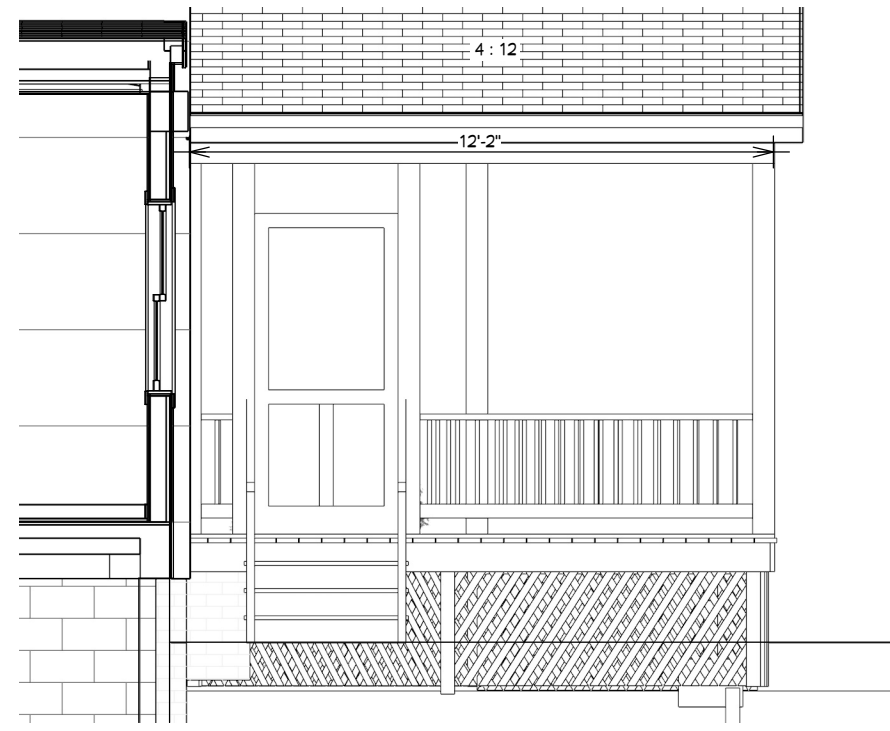
The entire porch will be wrapped in screen. Composite trim to cover screen. Fasia and soffit to be coil stock and vinyl to approximate proportions of existing house soffit and fascia

There will be a set of steps with a screen door towards the back yard. The treads will be the same brand and color of the porch flooring.

The rafters will be exposed on the interior with 2 x 6 tongue and groove exposed boards above.

The roof will be Certainteed Landmark architectural shingles to match shingles on the existing house

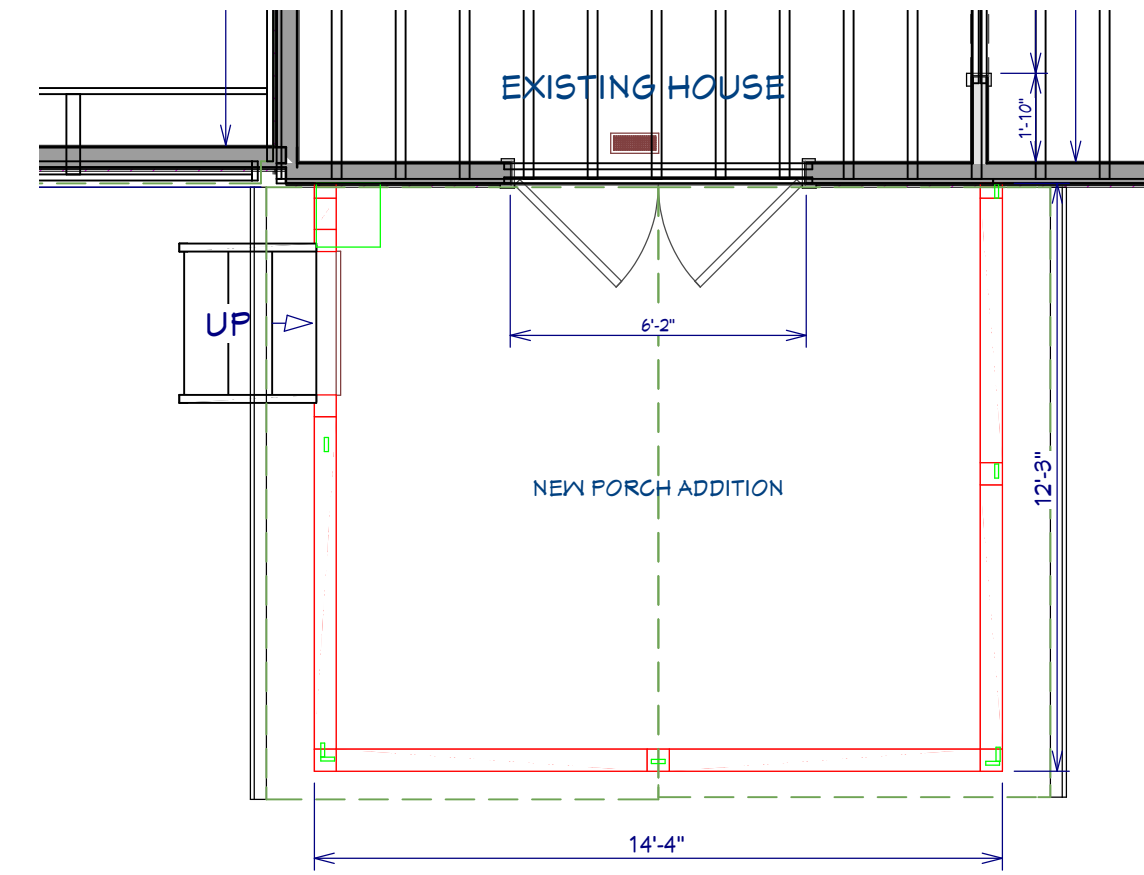
The existing window will be removed and replaced with a 6068 Andersen or Marvin hinged french door.



Elevation 3



Elevation 2



1st Floor



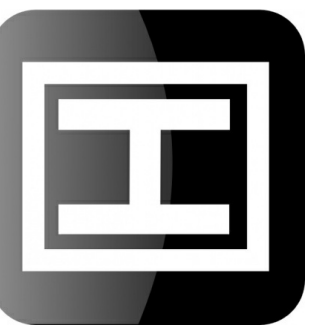
LEFT BACK



STREET VIEW PHOTO



STREET VIEW



**PRACTICAL ARTS
DRAFTING AND DESIGN**

THOMAS HUNTINGTON
thomhuntington@gmail.com
410.330.4455

SCREEN PORCH ADDITION

PETE AND JANET DOYLE
207 S. AURORA ST EASTON, MD 21601

DATE:
2/9/2026

SCALE:
MIXED

SHEET:

A-1

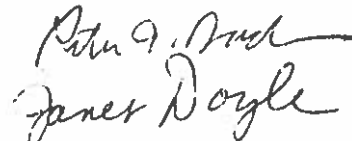
207 S. Aurora Street
Easton, MD 21601
February 8, 2026

Town of Easton
Easton MD 21601

To Whom It May Concern:

We, Peter Doyle and Janet Doyle, owners of the residence at 207 S. Aurora Street, Easton, MD 21601, authorize Thomas Huntington of Huntington Construction LLC to apply for a permit to build a screened-in porch, to be affixed to the south side of our house.

Sincerely,



Peter and Janet Doyle



TIMBERTECH ADVANCED PVC

Porch Collection

Hardwood & Stained Wood Looks

Give your porch the refined look of premium hardwood with all the benefits of a durable capped polymer material. Our high-performance, low-maintenance porch boards are designed with a tongue-and-groove system for minimal gapping, giving you a smooth surface you'll never have to sand, stain, or seal.

PORCH COLOR Coastline®



SAMPLE SIZE

FREE SHIPPING ON ORDERS OVER \$99*



Quantity:

Quantity selector showing '1' with up/down arrows

Add to Cart button

Contractor Rebates button

Add to Wish List button

Description



White 4'x36"-level Endurance Vinyl Railing ~ Square Balusters

A sturdy 4'x36" level Endurance vinyl railing with square balusters for timeless style and durability.

[View Product](#)

Endurance Original Railing by RDI with Square Balusters

What It Is

Endurance Vinyl Railing is a vinyl deck railing system made by RDI (Rail Design Innovations) that uses square vinyl balusters to create a classic, clean picket-style look. It's designed to be durable, easy to install, and visually versatile — fitting both traditional and contemporary homes. This system is one of RDI's core vinyl railing lines, offering a great balance of price, performance, and aesthetics.

[Want Pro Tips?](#)



Home > Porch Collection

TIMBERTECH ADVANCED PVC Porch Collection



Hardwood & Stained Wood Looks

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Shop All Appliances Bathroom Building Supplies Doors & Windows Flooring Lawn & Garden Lighting Tools Plumbing Outdoor

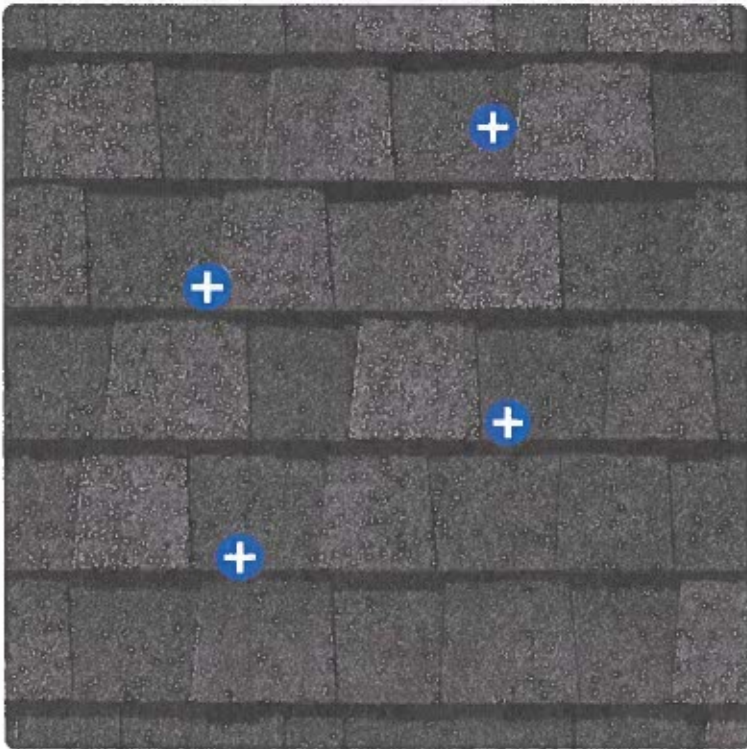
Easton Lowe's 7 PM 21613



Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been subm

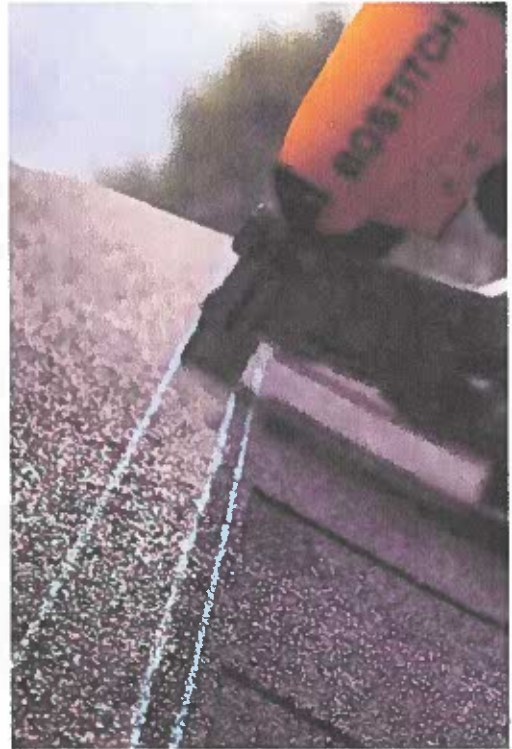
Tackle any deck job with Trex. Durable and low maintenance decking [Shop Now](#)

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Feedback





[View All Images](#)

CertainTeed Landmark Charcoal Black Algae Resistant Architectural Roof Shingles (33.33-sq ft per Bundle)
Item #5759767 | Model #654973

★ ☆ ☆ ☆ 4.7 62

\$41^{.98}

📦 **\$39.88** When you choose 5% savings on eligible purchases every day. [Learn How](#)

⚠️ **THIS ITEM IS OUT OF STOCK**
We'll notify you once this item is back in stock.

Enter Email Address
✉️ thomhuntington@gmail.com

Manufacturer Color/Finish: Charcoal Black



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This item is unavailable. Here are some similar items ...

FREE SHIPPING ON ORDERS OVER \$99*



(0) Items

What can we help you find?



Home / Vinyl Deck Railing Ideas / Endurance Vinyl Railing by RDI / ENDURANCE VINYL RAILING - SQUARE BALUSTERS

RDI

ENDURANCE VINYL RAILING - SQUARE BALUSTERS

\$152.99

★★★★☆ 4 Reviews

Availability:

2-4 week lead time



Color: Required



Railing Height: Required



Want Pro Tips?



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/9/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 111 E Dover Street

Applicant: Josh McCall on behalf of For All Seasons

Application Number: 2026-1654

Code Enforcement Case: Yes No

Project Description:

The applicant is requesting approval for exterior alterations to a contributing structure. The proposed scope of work includes the replacement of windows on a portion of the front and side façades; removal of the existing wood ramp and stairs; in-kind replacement of deteriorated wood siding; removal of porcelain tile from the side porch; repointing of mortar joints; and the installation of a new entrance between the YMCA building and the main building.

Proposed materials include composite decking (Fiberon® Good Life) in conjunction with bluestone on the side porch; in-kind wood railing; wood windows (AuraLast® pine); and in-kind wood siding replacement. The new door material and light fixtures have not been specified as part of the current submittal.

Historic District Guidelines:

Guideline 1. Preserve Significant Historic Features

- a. Avoid the removal of historic architectural features and materials. Historic architectural features include large scale characteristics including the building's overall shape, roof form, and fenestration patterns, as well as small-scale features like moldings, brackets, ornaments, and other examples of skilled craftsmanship.
- b. Retain existing historic building materials, including brick and stone masonry, wood shingles and siding, stucco, etc., to the greatest extent possible. Avoid removing historic materials that are in serviceable condition.



c. Materials or additions which were added after the building's initial construction – for example a porch, or a kitchen addition – may have since achieved historic significance in their own right and should be preserved.

Guideline 2. Repair Rather than Replace

Where possible, repair historic materials and features rather than replacing them.

- a. Repair rather than replace historic features wherever possible.
- b. Use the recommended technical procedures for cleaning, refinishing, and repairing historic materials. See Appendix D for technical resources. Some cleaning methods, including chemical and abrasive methods, and repair techniques can cause or exacerbate damage to historic materials of the building, particularly masonry. Always use the gentlest methods available.

Guideline 3. Make Sensitive Replacements

When a historic element is deteriorated to the point that replacement is required, the replacement should replicate the element as closely as possible.

- a. Replace as little historic material as possible. This may include patching, splicing, or piecing-in replacement materials such as individual roofing tiles, shingles, or siding, masonry patches, or dutchman repairs for wood elements.
- b. Match the historic feature's size, shape, profile, texture, and color to the greatest extent possible. The new materials should match the old when possible. In some cases, replacement with features recreated in synthetic materials may be appropriate (for additional information on substituting historic materials, see Appendix B).
- c. Avoid changing the character of historic features. For example, original horizontal board siding should not be replaced by vertically oriented siding or shingles, even of the same material.
- d. Substitute materials should only be used if they do not cause damage or change the character of the historic resource. The new material should match the form, color, and texture of the historic feature (for additional information on substituting historic materials, see Appendix B).

Guideline 6. Comply with Health and Safety Codes



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

- a. Compliance with health and safety codes and handicapped access requirements must be carried out with minimum impact on the historic character of buildings.
- b. When permitted by law, fire escapes or fire towers shall be placed at the rear of buildings as a secondary means of egress.
- c. Provide barrier-free access that promotes independence for the disabled to the highest degree practicable, while preserving significant historic features.
- d. Construction of ramps, lifts, fire escapes, and similar accessibility features should be constructed in an area that is hidden from public view, such as on a rear or side elevation, when possible.
- e. Ramps should have little to no visual impact or should be designed to be as unobtrusive as possible.
- f. Install ramps and other accessibility features in a manner that is reversible where practical, and does not permanently impact the historic building.
- g. Access ramps shall be in scale and visually compatible in design and materials with the building.

Guideline 37. ADA Ramps

- a. Ramps should be constructed of materials that blend in with the surrounding built environment. Ramp structures can be faced with brick, stone, or other materials as appropriate.
- b. Access ramps should be fabricated to avoid damaging or altering the contributing structure. Ramp design should be compatible with the style and materials of the existing porch and structure.
- c. Where possible, ramps should be installed on the side or rear elevation of a building.
- d. Avoid removing historic features in doorways, including stairs, porches, and railings to accommodate ramps. Consider building over or next to these features.

Guideline 44. Adding New Doors

- a. Avoid adding a new door to a front façade.
- b. Install additional doors, when needed, at the side or rear of the property. Avoid converting historic windows to door openings, especially where visible from the public-right-of-way.



Guideline 52. Choose Appropriate New or Replacement Fixtures

- a. Replace missing or damaged light fixtures with replacements that replicate the originals or other similar examples appropriate to the architectural character of the building.
- b. Modern light fixtures may be appropriate as replacement or where light fixtures did not exist. They should be unobtrusive and not damage or obscure architectural features.

Guideline 54. Fire Escapes and Exterior Stairs

- a. Locate fire escapes and exterior stairs in the rear or on side elevations that are not visible, or minimally visible, from public rights-of-way.
- b. Fire escapes and exterior stairs should not damage architectural features. Avoid placing these units where architecture features would need to be removed to accommodate them.

Guideline 57. Repointing Masonry

Mortar joints may require repair in areas where the mortar is cracked or missing. Most often, the mortar joint can simply be re-pointed by removing the deteriorated mortar and infilling with new mortar.

- a. Repoint only where there is evidence of deterioration or water infiltration. This includes loose or disintegrating mortar, cracks, loose bricks, etc.
- b. Use traditional repointing techniques, and/or those recommended by historic preservation specialists. This includes hand raking to remove deteriorated mortar. Avoid the use of electric saws to remove mortar from joints. Do not use “scrub coating” methods to repoint – mortar should not be deposited on the brick face.**
- c. Do not apply stucco to brick or stone surfaces to avoid repointing.
- d. Use traditional materials for repointing. New mortar should match the historic mortar in terms of hardness, strength, color, and aggregate size. Do not use synthetic caulking materials. For buildings constructed prior to 1900, a very low Portland cement mortar mix should be used.**
- e. Match the historic joint’s width and profile, including tooling finishes.

Guideline 63. Match Colors When Patching or Piecing Materials

- a. Ensure that patched siding, roofing, or masonry matches the surrounding surface in terms of color.**



b. Match colors for related elements. For example, the color of a handrail for a stair should generally match the color of the stringers and risers.

Guideline 65. Make Sensitive Replacements (Porches)

- a. Replace missing posts and railings where necessary to match size, shape, profile, proportion, and spacing to the historic feature.
- b. Use wood for porch details and structural parts, including steps, decking, and foundations, unless it can be documented that other materials were historically used on the house or used at an early date.
- c. Alternate materials may be allowable on a on side or rear porches if the new material, size, scale, and overall appearance matches the historic feature.
- d. Front porches on contributing historic structures are held to a higher standard than side or rear porches.

Guideline 77. Make Sensitive Replacements (Siding)

- a. If the deterioration is severe, replace only the affected areas with wood siding that matches the existing in size, shape, profile, and texture.**
- b. Avoid replacing original wood siding with a different type of wood siding; for example, replacing 4-inch horizontal wood board siding with wood shingles.
- c. Avoid applying replacement material that will damage underlying materials, trap moisture, or compromise the structural capacity of the façade.
- d. Avoid applying replacement material so that it damages or destroys other character-defining elements including trim and ornamental pieces.

Guideline 90. Make Sensitive Replacements (Windows)

- a. Replace windows that cannot be repaired in-kind. Replacement windows must match the original windows in size, proportion, design, and style. The number of windowpanes and the muntin and mullion profiles should match the historic window.**
- b. Replacement units for historic divided light (multi-pane) windows must have the appearance of a true divided light. Simulated divided light windows with three dimensional muntins are usually appropriate. “Snap-in” or “between-the-glass” vinyl



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

muntins do not simulate a historic appearance and will not be approved for windows within the historic district.

- c. Maintain the window type. For example, replacing a double-hung window with a casement window is not preferred.
- d. Maintain the historic window opening size and surrounding trim. Altering the window opening to accommodate larger or smaller windows is not preferred.
- e. Where inappropriate replacements were previously installed, and the original window appearance is unknown, neighboring buildings may provide clues to appropriate configurations. In general, a style of window that is in keeping with the architectural style of the building is most appropriate. Where the style of window cannot be determined, a one-over-one window configuration is usually most appropriate.
- f. Windows constructed of hollow core or extruded vinyl components should not be used. Other alternative materials, including fiberglass composite or aluminum-clad, may be appropriate in some circumstances. See Appendix B for additional information on substitute materials.
- g. Certain rare or unique windows should not be replaced or altered. This determination will be made by the HDC.

Guideline 93. Sills, Lintels, and Frames

- a. Retain original sills, frames, lintels, and associated window trim and ornamentation.
- b. Do not wrap sills or frames in any materials (sheet metal, vinyl, etc.).
- c. Avoid adding details, surrounds, shutters, ornamentation and other features that have no historical basis and are not in keeping with the character of the original window.
- d. When historic sills, lintels, surrounds, or trim requires replacement, it should be made in-kind using the same or similar material and replicating the form, profile, color, and texture of the original unit.

Appendix B.2 Common Substitute Materials (Porch and Deck)

Composite materials are made from a mix of plastic and wood fibers. The material is manufactured for use as porch and deck floorboards and stair treads. These materials are formed into planks to imitate wood decking and are installed in a manner similar to traditional wood planks. The product is sometimes available in a paintable finish. Use of composite decks and



staircases is **appropriate for installations in the rear of the property**. In non-contributing buildings, it may be appropriate for use in flooring and stair treads on front porches if the material closely matches the original in profile, dimension, finish, and overall appearance, or if the porch floor is not significantly visible from the right-of-way.

It is generally not appropriate to replace concrete or brick masonry stairs or porches with wood or composite materials. Concrete and brick or stone masonry porches should be repaired or replaced in-kind. Alternative proposals will be evaluated on a case-by-case basis.

Staff Analysis:

The proposed ADA ramp and fire escape are located on a secondary, non-visible side façade and are anticipated to have minimal visual impact on the structure. The use of composite decking material may be appropriate in this instance, as it is proposed at the rear of the building where visibility from the public right-of-way is limited.

Limited information has been provided regarding the proposed new door between the YMCA and the main building. Depending on its exact location and material specification, the new opening may conflict with applicable guidelines governing alterations to historic structures. The guidelines discourage the conversion of window openings into door openings, particularly when such alterations are visible from the street. Additionally, no information has been submitted regarding the proposed replacement light fixtures, preventing a full evaluation of their compliance with the Guidelines.

The proposed siding repair and replacement appears to be consistent with Guideline 77, provided that replacement is limited to areas of siding that are deteriorated beyond repair and that all new siding is painted to match the existing in accordance with Guideline 63.

Repointing of the historic masonry should be undertaken using the method prescribed in Guideline 57. The Commission may wish to condition any approval upon adherence to this specified technique.

Lastly, the proposed replacement windows generally resemble the existing windows in configuration; however, a notable difference exists in the muntin pattern. The existing windows contain twelve lights (6-over-2 configuration), whereas the proposed windows contain four lights. This change to the muntin pattern may conflict with Guideline 90a.

Draft Motions:



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

1. I move that the Historic District Commission **table** the application pending the submission of additional information regarding the proposed side door and lighting fixtures, as well as revised window specifications that match the existing windows in design and configuration.

OR

2. I move that the Historic District Commission **deny** the application based on the following findings...

OR

3. I move that the Historic District Commission **approve** the application based on the following findings...



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101027034		111 E DOVER ST		EASTON LAND HOLDINGS, LLC			
YEAR BUILT		PHYSICAL CONDITION					
1900		EXCELLENT					
ARCHITECTURAL STYLE				ADDITION(S)			
COLONIAL REVIVAL/STICK				LARGE CONCRETE BLOCK ADDITION			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
I BELIEVE DWELLING ORIGINALLY FACED HARRISON ST. AND THAT COLONIAL REVIVAL DOVER ST. ENTRANCE MAY BE LATER. ORIGINAL/HISTORIC MATERIAL INCLUDES WOODED GERMAN+ PLAIN SIDING. STICK WORK AT EAVES + FLUTED IONIC COLUMNS + PILASTERS.							



TOWN OF EASTON
 PLANNING AND ZONING, TOWN OF EASTON
 14 SOUTH HARRISON STREET, EASTON, MD 21601

RECEIVED

FEB 20 2026

HD 26 - 18

Application #: 2026 - 1654
Date Received: 02/20/2026
Fee Paid: \$200.00
HDC Meeting Date: 03/09/2026
Date Property Posted: 03/04/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER
 NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 111 E. Dover Street, Easton, MD 21601
 Contributing Non-Contributing YEAR BUILT: _____ NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: For All Seasons, Inc.
 TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME: Josh McCall
 TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Description of Proposal (include additional sheets, as necessary)

See attached

Specific Requirements

- The payment of fees is due at the time of application submittal.
 As of July 1, 2025, the fees are as follows:
 Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: [Signature]
 Date: 2/16/26
 Printed Name of Applicant or Agent: Josh McCall



**For All Seasons
111 E. Dover Street
Easton, MD 21601**

Scope of Work:

Masonry:

- Set Concrete Lintels 2 Openings
 - Entryway into the Mechanical Room
 - New Entryway between Buildings
- Point Up Front Walk and Stoop
 - Point up Mortar Joints
- Point Up and Seal and Cap Chimneys
- Point Up Foundation
 - Point up Mortar Joints where needed around Foundation.
- Install Porcelain Tile Porch
 - Demo Porcelain Tile on Side Porch and Replace with Bluestone.
- Concrete Interior Ramp
 - Per Plans, Build ADA Compliant Ramp between Entryway.

Siding

- Replace Rotted Siding in kind on the Fire Escape Side of the Main House. Replace Sheathing if Necessary.
- Paint Replaced Siding in kind.

Windows

- Remove and Install New Custom Windows in Front Right Conference Room.

Framing

- Frame New Entrance Between YMCA Building and Main Building,
- Install New Door
- Frame Opening of Wall In YMCA Building.
- Back Steps/Ramp
 - Remove existing staircase and ramp on back of building.
 - Reframe staircase and ramp in kind.
 - Install new Fiberon Good Life Decking.
 - Install new railings in kind to existing.

Electrical

- Replace security light on building "Y".
- Replace 2-exterior scones on building "Y".



February 13, 2026

Historic District Commission
Town of Easton
14 South Harrison Street
Easton, MD 21601

RE: Authorization of Representation

To the Members of the Historic District Commission:

For All Seasons, Inc., is the owner of the property located at 111 E. Dover Street, Easton MD 21601, which is within the Town of Easton Local Historic District.

Our Agency authorized Josh McCall of Shore Projects LLC to function as our agent and representative in all matters pertaining to the Historic District Commission application for the above-referenced property.

This authorization includes, but is not limited to:

- Submitting the Historic District Commission Hearing Application.
- Present the project, plans, and materials to the commission.
- Answering Questions regarding the proposed work.
- Signing necessary documents related to the application.

Please direct all correspondence regarding this application to Josh McCall at Shore Projects LLC. We have provided the contact information for Shore Projects listed below:



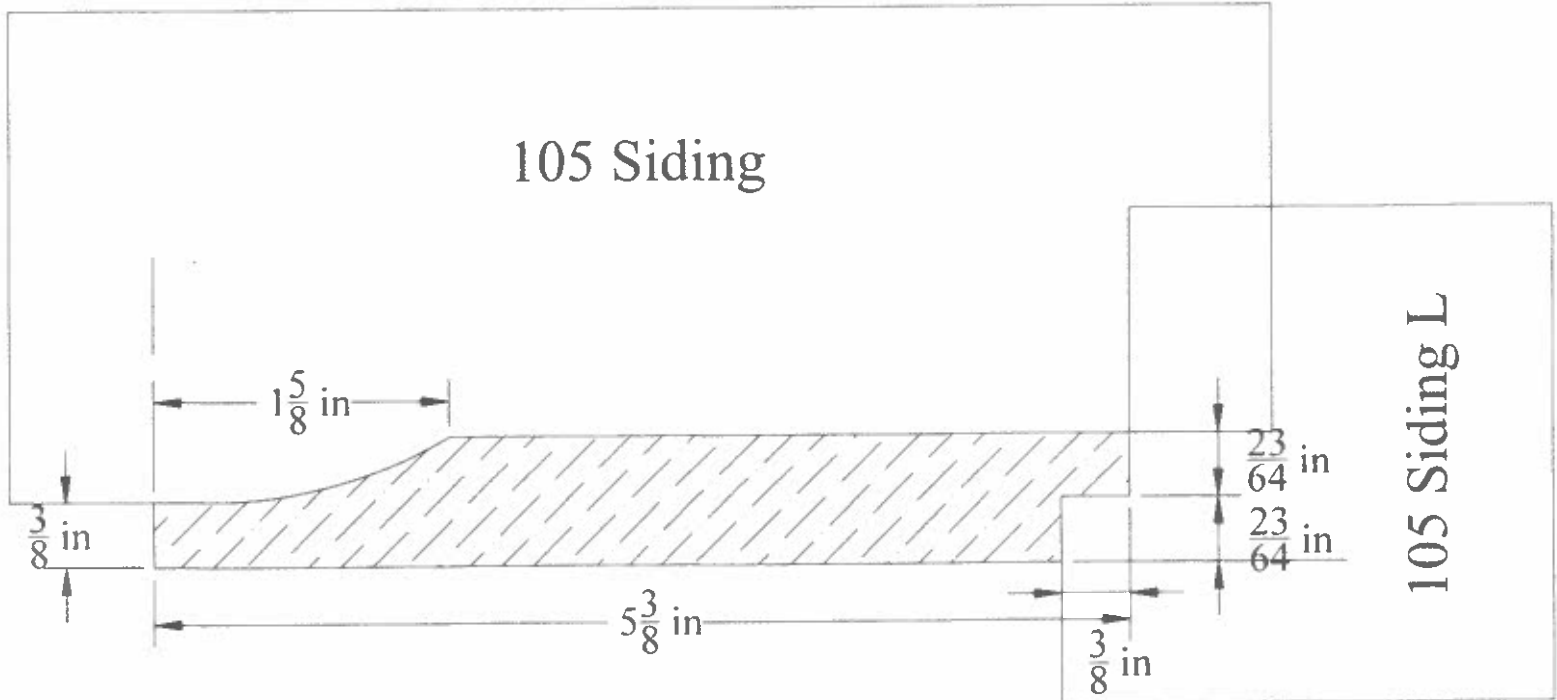
Regards,

Patti Cannon
Chief Operating Officer



111 E Dover St. | Easton, MD 21601





Fence

Bedplate

All drawings are viewed from the outfeed position.

Drawing #	105 Siding		
CAD Tech	JDS	Ashton-Lewis	
Date	01/17/2018	Dwg Rev.	-----
Scale	Full	Steel Type	-----

Vinny Parreco

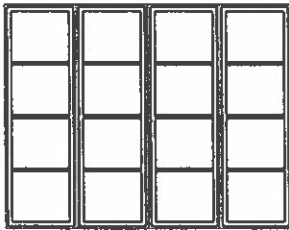
QUOTE BY : Vinny Parreco
SOLD TO : SHORE PROJECTS
PO# :
Ship Via : Ground

QUOTE # : JW250200NYT - Version 0
SHIP TO :
PROJECT NAME: 111 E DOVER ST
REFERENCE :

U-Factor Weighted Average: 0.26

SHGC Weighted Average: 0.16

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	RO Size : 101 1/2 X 80 1/4	Frame Size : 100 3/4 X 79 1/2 (Outside Casing Size: 100 3/4 X 79 1/2) Custom Wood Mull Auralast Pine, Stack Mull, Casement/Awning Product, Primed Exterior, Primed Interior, No Exterior Trim, 4 Wide 1 High, Factory Mull, 4 9/16 Jamb, US National-WDMA/ASTM, DP 35, Insulated SunResist Annealed Glass, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Traditional Screen Stop This mull configuration complies with AAMA 450 standards and is professional engineer-approved. PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW	\$5,431.85	1	\$5,431.85



Viewed from Exterior. Scale: 1/2" = 1'

Line 1-1(A4)	RO Size : 25 7/8 X 80 1/4	Frame Size : 25 1/8 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 1 Wide 4 High Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD- WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N- 665-09011-00001 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
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LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1-2(A2)	RO Size : 26 X 80 1/4	Frame Size : 25 1/4 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 1 Wide 4 High Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD- WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N- 665-09011-00001 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
Line 1-3(A3)	RO Size : 26 X 80 1/4	Frame Size : 25 1/4 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 1 Wide 4 High Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD- WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N- 665-09011-00001 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
Line 1-4(A1)	RO Size : 25 7/8 X 80 1/4	Frame Size : 25 1/8 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 1 Wide 4 High Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD- WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),			

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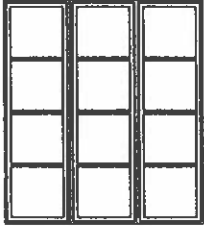
Drawings are for visual reference only and may not be to exact scale.
 All orders are subject to review by JELD-WEN

Last Modified: 04/07/2025

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-665-09011-00001
PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

Line 2
RO Size : 70 11/16 X 80 1/4



Viewed from Exterior. Scale: 1/2" = 1'

Frame Size : 69 15/16 X 79 1/2
(Outside Casing Size: 69 15/16 X 79 1/2)
Custom Wood Mull Auralast Pine, Stack Mull, Casement/Awning Product,
Primed Exterior,
Primed Interior,
No Exterior Trim,
3 Wide
1 High,
Factory Mull,
4 9/16 Jamb,
US National-WDMA/ASTM, DP 35,
Insulated SunResist Annealed Glass, Protective Film, Silver Spacer, Argon
Filled, Traditional Glz Bd,
Traditional Screen Stop
This mull configuration complies with AAMA 450 standards and is
professional engineer-approved.
PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

\$3,830.71 1 \$3,830.71

Line 2-1(A3)
RO Size : 24 1/16 X 80 1/4

Frame Size : 23 5/16 X 79 1/2
Custom Wood Casement, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Stationary,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial 1 Wide 4 High
Traditional Screen Stop
Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-
665-09011-00001
PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

Line 2-2(A1)
RO Size : 24 1/16 X 80 1/4

Frame Size : 23 5/16 X 79 1/2
Custom Wood Casement, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Stationary,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial 1 Wide 4 High

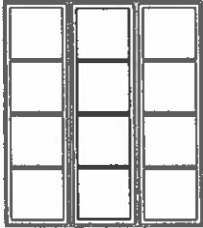
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Page 3 of 7 (Prices are subject to change.) JW250200NYT (Ver:0)-04/07/2025 10.45 AM

Quote Date: 02/27/2025

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Last Modified: 04/07/2025

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
		Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-665-09011-00001 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
Line 2-3(A2)	RO Size : 24 1/16 X 80 1/4	Frame Size : 23 5/16 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 1 Wide 4 High Traditional Screen Stop Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-665-09011-00001 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
Line 3	RO Size : 70 11/16 X 80 1/4	Frame Size : 69 15/16 X 79 1/2 (Outside Casing Size: 69 15/16 X 79 1/2) Custom Wood Mull Auralast Pine, Stack Mull, Casement/Awning Product, Primed Exterior, Primed Interior, No Exterior Trim, 3 Wide 1 High, Factory Mull, 4 9/16 Jamb, US National-WDMA/ASTM, DP 35, Insulated SunResist Annealed Glass, Protective Film, Silver Spacer, Argon Filled, Traditional Glz Bd, Traditional Screen Stop This mull configuration complies with AAMA 450 standards and is professional engineer-approved. PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW			
					
	Viewed from Exterior. Scale: 1/2" = 1'				
			\$3,830.71	1	\$3,830.71
Line 3-1(A3)	RO Size : 24 1/16 X 80 1/4	Frame Size : 23 5/16 X 79 1/2 Custom Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Stationary, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,			

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Last Modified: 04/07/2025

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Argon Filled, Traditional Glz Bd,
 Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
 Bronze Shadow Bar, Colonial 1 Wide 4 High
 Traditional Screen Stop
 Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
 WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
 U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-
 665-09011-00001
 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

Line 3-2(A1)
 RO Size : 24 1/16 X 80 1/4

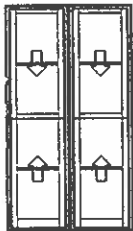
Frame Size : 23 5/16 X 79 1/2
 Custom Wood Casement, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 No Exterior Trim,
 4 9/16 Jamb,
 Stationary,
 US National-WDMA/ASTM, PG 35,
 Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
 Argon Filled, Traditional Glz Bd,
 Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
 Bronze Shadow Bar, Colonial 1 Wide 4 High
 Traditional Screen Stop
 Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
 WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
 U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-
 665-09011-00001
 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

Line 3-3(A2)
 RO Size : 24 1/16 X 80 1/4

Frame Size : 23 5/16 X 79 1/2
 Custom Wood Casement, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 No Exterior Trim,
 4 9/16 Jamb,
 Stationary,
 US National-WDMA/ASTM, PG 35,
 Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
 Argon Filled, Traditional Glz Bd,
 Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
 Bronze Shadow Bar, Colonial 1 Wide 4 High
 Traditional Screen Stop
 Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
 WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
 U-Factor: 0.26, SHGC: 0.16, VLT: 0.35, Energy Rating: 17.00, CPD: JEL-N-
 665-09011-00001
 PEV 2024.4.0.4909/PDV 7.718 (12/01/24)PW

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 4
RO Size : 60 X 107 3/4



Viewed from Exterior. Scale: 1/2" = 1'

Frame Size : 59 1/4 X 107
(Outside Casing Size: 59 1/4 X 107)
Custom Wood Mull Auralast Pine, Stack Mull, Epic Double Hung Product,
Primed Exterior,
Primed Interior,
No Exterior Trim,
2 Wide
1 High,
Job Site Mull,
5 1/2 Jamb,
Insulated SunResist Annealed Glass, Protective Film, Silver Spacer, Argon
Filled, Traditional Glz Bd,
Mulled Window Assembly Has Not Been Tested To AAMA 450.
PEV 2025.1.0.5016/PDV 7.826 (02/27/25)PW

\$4,348.29 1 \$4,348.29

Line 4-1(A1)
RO Size : 30 3/8 X 107 3/4

Frame Size : 29 5/8 X 107
Custom Epic Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
5 1/2 Jamb,
Standard Double Hung, Beige Jambliner,
White Hardware, Sash Lock(s), No Finger Lifts,
US National-WDMA/ASTM, PG 45,
Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial All Lite(s) 1 Wide 2 High Top, 1 Wide 2 High
Btm,
No Screen,
Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
U-Factor: 0.28, SHGC: 0.14, VLT: 0.31, CPD: JEL-N-792-01311-00001
PEV 2025.1.0.5016/PDV 7.826 (02/27/25)PW

Line 4-2(A2)
RO Size : 30 3/8 X 107 3/4

Frame Size : 29 5/8 X 107
Custom Epic Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
5 1/2 Jamb,
Standard Double Hung, Beige Jambliner,
White Hardware, Sash Lock(s), No Finger Lifts,
US National-WDMA/ASTM, PG 45,
Insulated SunResist Annealed Glass, Neat, Protective Film, Silver Spacer,
Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial All Lite(s) 1 Wide 2 High Top, 1 Wide 2 High
Btm,
No Screen,
Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-
WEN warranty for additional information, IGThick=0.756(1/8 / 1/8),
U-Factor: 0.28, SHGC: 0.14, VLT: 0.31, CPD: JEL-N-792-01311-00001

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Quote Date: 02/27/2025


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LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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PEV 2025.1.0.5016/PDV 7.826 (02/27/25)PW

Total:	\$17,441.56
MD SALES TAX (6.0000%):	\$1,046.49
Net Total:	\$18,488.05
Total Units:	4

 **AuraLast** Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.



Pei Evaluation Service®

Pei Evaluation Service® is an accredited ISO Standard 17065 Product Certifier, accredited by the IAS. This **Product Evaluation Report** represents a product that Pei ES has evaluated. This product has a Product Evaluation Service Agreement & Follow-up Inspection Service Agreement. This **Product Evaluation Report** in no way implies warranty for this product or relieves **Fiber Composites, LLC** of their liabilities for this product. This **PER** is an official document if it is within one year of the Initial or Re-Approval date.

PER-15097

Initial Approval
February, 2016

Re-Approved
February, 2021

See all Pei ES Listings at: www.p-e-i.com

Report Owner

Fiber Composites, LLC
181 Random Drive
New London, NC 28127

Approved Manufacturing Locations

Fiber Composites, LLC
181 Random Drive
New London, NC 28127

Fiber Composites, LLC
420 W Franklin Rd
Meridian, ID 83642

Product

Fiberon® PE Decking
Fiberon® PVC Decking

Evaluation Report Information

Fiber Composites Contact Information:
1-800-573-8841 or info@fiberondecking.com

General Details

This report covers the **Fiberon® PE Decking** and **Fiberon® PVC Decking**. The plant locations listed above have an approved Q.C. Manual to manufacture the product. **Fiber Composites, LLC** has a Product Evaluation Service Agreement with **Pei Evaluation Service® (Pei ES)** / Follow-up Inspection Service Agreement with **Progressive Engineering Inc. (Pei)**. The plant locations listed above shall be audited quarterly by **Pei**.

Product Description

Fiberon® PE Decking is manufactured from polyethylene (PE) and wood fiber in a variety of cross-sections, colors, and styles as described in Table 1 of this PER. Cross-sections range from a solid rectangular shape to solid shapes with two to five arches on the bottom side. Fiberon PE Decking may also be manufactured with a longitudinal groove along each side of the board. This groove is milled in after the extrusion process and utilized for hidden fastener installation. Refer to Figures 1 through 15 for the approved section profiles and colors.

Fiberon® PVC Decking is made from co-extruded cellular Polyvinyl Chloride (PVC) manufactured from a solid cellular foam core in a variety of cross-sections, colors, and styles as described in Table 2 of this PER. Fiberon PVC Decking comes either square-edged or with a longitudinal groove along each side of the board (Grooved Edge). The extruded groove is located along both edges of the board for the hidden clip fastening system. **Fiberon® Paramount® Decking** has a three-sided co-extruded capstock with a tread surface that has an embossed pattern whereas **Fiberon® Promenade Decking** has a four-sided co-extruded capstock with a tread surface that has an embossed pattern. Refer to Figures 12 through 15 for the approved section profiles and colors.

General Product Use

- Fiberon® PE Decking** and **Fiberon® PVC Decking** shall be installed in accordance with the Fiberon Decking Installation Instructions.
- Specialized surface fasteners are required when decking is installed over steel joists, Fiberon EDGEMETAL may be used for steel joists. Phantom Hidden Fasteners or Universal Fasteners may not be used.
- All construction, wood or steel framing, beams, joist, stringers and associated connections needed to support **Fiberon® PE Decking** and **Fiberon® PVC Decking** are outside the scope of this **PER**. All construction shall follow applicable codes and are subject to approval by the building official.
- Approved deck board fastening methods are shown in Table 3 and Table 4 of this **PER**. Alternative fastening methods do not fall into the scope of this **PER** and shall be subject to approval by the building official.
- Deck boards are intended for exterior use applications on structures regulated by the 2009, 2012, 2015 & 2018 IRC or Type VB construction in accordance with the 2009, 2012, 2015 & 2018 IBC. Deck boards may be used on balconies and similar projections on building of Type III, IV & V construction where fire sprinkler protection is extended into those areas in accordance with 2009, 2012, 2015 IBC 1406.3, Exception 3 or 2018 IBC 705.2.3.1, Exception 3.
- Surface fasteners shall be installed at a 90-degree angle to the decking surface.

Code Compliance

<u>International Residential Code®</u>	<u>International Building Code®</u>
2009 - Section 317.4	2009 - Section 104.11
2012 - Section 507.3	2012 - Section 104.11
2015 - Section 507.3	2015 - Section 2612
2018 - Section 507.2.2	2018 - Section 2612

Code Considerations

2016 California Green Building Standard Code "CALGreen" Title 24, Part 11

CALGreen Section A5.406.1.1 Reduced Maintenance. Fiberon Decking requires no finishing at installation and no finishing required for product maintenance.

2015 ICC 700 National Green Building Standard

Section 602.1.6 Termite-resistance materials. Fiberon Decking has been tested to AWPA Standard E1-13

Section 601.7 Prefinished Materials. Fiberon Decking requires no finishing at installation and no finishing required for product maintenance.

Decisions on compliance of Fiberon Decking to 2016 CALGreen and 2015 ICC 700 National Green Building standard are the responsibility of the building designer/professional. Fiberon Decking is just one product in the completed structure and there may be other or specific requirements that need to be considered.

Standard Compliance

ASTM D1037-12- Standard Test Methods for Evaluating Properties of Wood-Base Fiber and Particle Panel Materials.

ASTM D6109-13- Standard Test Methods for Flexural Properties of Unreinforced and Reinforced Plastic Lumber and Related Products.

ASTM D6662-17- Standard Specification for Polyolefin-Based Plastic Lumber Decking Boards.

ASTM D7032-17- Standard Specification for Establishing Performance Ratings for Wood, Plastic Composite Deck Boards and Guardrail Systems (Guards or Rails)

ASTM E84 - Test Methods for Surface Burning Characteristics of Building Materials [Flame Spread Index not exceeding 200]

ASTM F1679-04 - Standard Test Method for Using a Variance Incidence Tribometer (VIT)

ASTM G154-16 - Standard Practice for Operating Fluorescent Light Apparatus for UV Exposure of Non-Metallic Materials.

AWPA Standard E1 - Standard Method for Laboratory Evaluation to Determine Resistance to Subterranean Termites [Equivalent (or better) performance to preservative treated or naturally durable wood for resistance to termite attack]

AWPA Standard E10 - Standard Method for Testing Wood Preservatives by Laboratory Soil-Block Cultures [Equivalent (or better) performance to preservative treated or naturally durable wood for resistive to fungus decay]

CSFM 12-7A-4A - Materials and Construction Methods for Exterior Wildfire Exposure - Decking Alternate Method A
[Tested Decking Includes: Good Life FR, Sanctuary FR, Paramount® PVC and Promenade Decking]

Table 1 - Fiberon® PE Decking Description Summary

Deck Board ¹	Grooved Availability (Yes or No)	Approved Colors ³	Material/Process ²
Good Life Weekender Good Life Escapes Good Life ^T Weekender FR Good Life Escapes FR	Yes	Beach House	Coextruded with a PE/wood core and HDPE capstock on three sides (No capstock on bottom)
		Bungalow	
		Cabana	
		Tuscan Villa	
		Cabin	
		Cottage	
Sanctuary® Sanctuary® FR	Yes	Chai	Coextruded with a PE/wood core and HDPE capstock on three sides (No capstock on bottom)
		Espresso	
		Earl Grey	
		Latte	
		Moringa	
Concordia™ Horizon®	Yes	Rosewood	Coextruded with a PE/wood core and HDPE capstock on all four sides.
		Tudor Brown	
		Ipe	
Concordia™ Symmetry®	Yes	Castle Gray	
		Burnt Umber	
		Warm Sienna	
		Cinnabar	
Fiberon® ArmorGuard®	Yes	Graphite	Coextruded with a PE/wood core and HDPE capstock on three sides (No capstock on bottom)
		Nantucket Gray	
		Brazilian Walnut	
Veranda	Yes	Sandcastle	Coextruded with a PE/wood core and HDPE capstock on three sides (No capstock on bottom)
		Brown	
		Gray	

Notes:

1. Deck board cross-sections are provided in Figure 1, 3, 5, 8, 10, 12 and 14.
3. Approved colors are shown in Figure 2, 4, 6, 7, 9, 11, 13 and 15.

Table 2 - Fiberon® PVC Decking Description Summary

Deck Board ¹	Grooved Availability (Yes or No)	Approved Colors ³	Material/Process ²
Paramount® PVC	Yes	Brownstone	Coextruded PolyVinyl Chloride (PVC)
		Flagstone	
		Fossil	
		Mineral	
		Sandstone	
Promenade Decking	Yes	Moonlit Cove	Coextruded PolyVinyl Chloride (PVC)
		Natural Reef	
		Russet Dune	
		Sandy Pier	
		Shaded Cay	
		Weathered Cliff	

1. Deck board cross-sections are provided in Figures 12 and 14.
2. PVC (Polyvinyl Chloride).
3. Approved colors are shown in Figure 2, 4, 6, 7, 9, 11, 13 and 15.

Table 3 - Fiberon Span & Wind Uplift Ratings for Square Edge Deck Boards

Deck Board ¹	Fastener System ²	Span (in)	Stair Tread Span ³ (in)	Load Rating (psf)	Allowable Wind Uplift ⁵ (psf)
Good Life, Weekender, Escapes Good Life Escapes FR Good Life Weekender FR	Two (2) #9 x 2-1/2" SplitStop™ Titan III Composite Screws at each end and joist support.	16	12	100	316
Good Life, Weekender, Escapes Good Life Escapes FR Good Life Weekender FR	Two (2) #9 x 2-3/4" FastenMaster TrapEase II Composite Screws at each end and joist support.	16	12	100	267
Sanctuary® Sanctuary FR	Two (2) #10 x 2-1/2" SplitStop Titan III Composite Screws at each end and joist support.	16	12	100	391
Concordia™ Horizon®, Symmetry®	Two (2) #10 x 2-1/2" SplitStop Titan III Composite Screws at each end and joist support.	16	12	100	428
Fiberon® ArmorGuard®	Two (2) #10 x 2-1/2" SplitStop Titan III Composite Screws at each end and joist support.	16	12	100	376
Veranda	Two (2) #10 x 2-1/2" SplitStop Titan III Composite Screws at each end and joist support.	16	12	100	315
Paramount® PVC Decking	Two (2) #10 x 2-3/4" Cortex® composite deck screws at each end and joist support.	16	24 (reinforced) ⁴	100	544
	Two (2) #9 x 2-3/4" FastenMaster TrapEase II Composite Screws at each end and joist support.	16	12	100	277
Promenade PVC Decking	Two (2) #9 x 2-3/4" FastenMaster TrapEase II Composite Screws at each end and joist support.	16	24 (reinforced) ⁴	100	277
	Two (2) #10 x 2-3/4" Cap-Tor XD Headcote 305 w/Type 17 Auger Tip composite deck screws at each end and at the joist support.	16	24 (reinforced) ⁴	100	170

Notes:

- Deck board cross-sections are provided in Figures 1, 3, 5, 8, 10, 12 and 14.
- Approved fasteners are provided in Figures 17 through 20.
- A minimum two-span condition is required when deck boards are utilized for a stair tread application.
- Paramount & Promenade deck boards used in a stair tread application must be reinforced with a 2x4 preservative treated SYP blocking as shown in Figure 16.
- Wind uplift values based upon the lesser of deck board flexural strength, fastener pull-through, and fastener withdrawal from SYP lumber. Fastener withdrawal from alternative lumber species shall be approved by the Building Official prior to installation.

Table 4 - Fiberon Span & Wind Uplift Ratings for Grooved Edge Deck Boards

Deck Board ¹	Fastener System ^{3,4}	Span (in)	Stair Tread Span ² (in)	Load Rating (psf)	Wind Uplift (psf)
Good Life Grooved Good Life Weekender FR, Good Life Escapes FR	Fiberon Phantom GT Hidden Fastener System /	16	NP	100	196
	Fiberon® EDGE® Clips Hidden Fastener System	16	NP	100	244
	Fiberon® EDGEX® Clips Hidden Fastener System	16	NP	100	267
Sanctuary® Grooved Sanctuary® FR	Fiberon Phantom GT Hidden Fastener System	16	NP	100	200
Concordia™ Horizon® Grooved Concordia™ Symmetry Grooved	Fiberon Phantom GT Hidden Fastener System	16	NP	100	182
Fiberon® ArmorGuard® Grooved	Fiberon Phantom GT Hidden Fastener System	16	NP	100	172
Paramount® PVC Grooved	Fiberon Phantom GT Hidden Fastener System	16	NP	100	169
	Fiberon® Edge® Clips Hidden Fastener System	16	NP	100	233
	Fiberon® EdgeX® Clips Hidden Fastener System	16	NP	100	277
Promenade PVC Grooved	Fiberon Phantom Universal Hidden Deck Fastener.	16	NP	100	170
	Fiberon® Edge® Clips Hidden Fastener System	16	NP	100	233
	Fiberon® EdgeX® Clips Hidden Fastener System	16	NP	100	277

Notes:

- Deck board cross-sections are provided in Figures 1, 3, 5, 8, 10, 12 and 14.
- Grooved deck boards are not permitted (NP) in stair tread applications.
- Fiberon Phantom GT Hidden Fastener System is detailed in Figure 21. A #8 x 1.6" long trim head stainless steel screw (0.165" major diameter, 0.105" minor diameter) shall be used for all Hidden Fastener System installations.
- Fiberon® Edge® & Fiberon® EdgeX® Clip Hidden Fastener Systems are detailed in Figure 22 & 23. A #7 x 2-1/4" long coated screw (8TPI, 2.21-in overall length, 0.156 major diameter, 0.105-in minor diameter, 0.120-in. shank, 0.200-in head diameter, star drive trim head, self drilling point) shall be used for the Fiberon® Paramount® and Promenade decking hidden fastener installation.

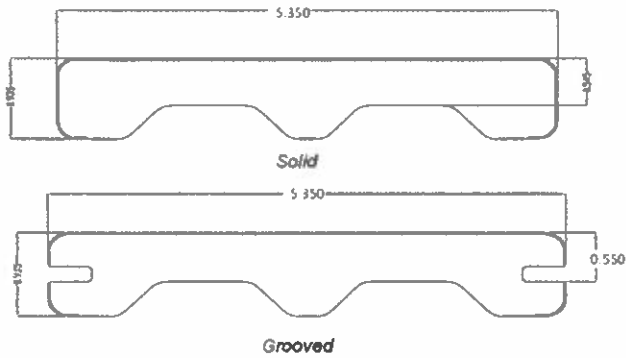


Figure 1 - Fiberon Good Life™ Weekender & Escapes Cross-Section



Figure 2 - Good Life™, Weekender, & Escapes Approved Colors

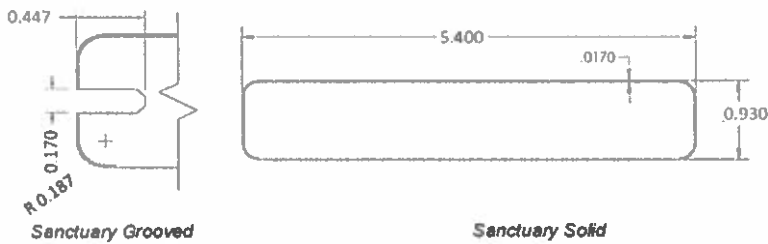


Figure 3 - Fiberon Sanctuary® Cross-Sections

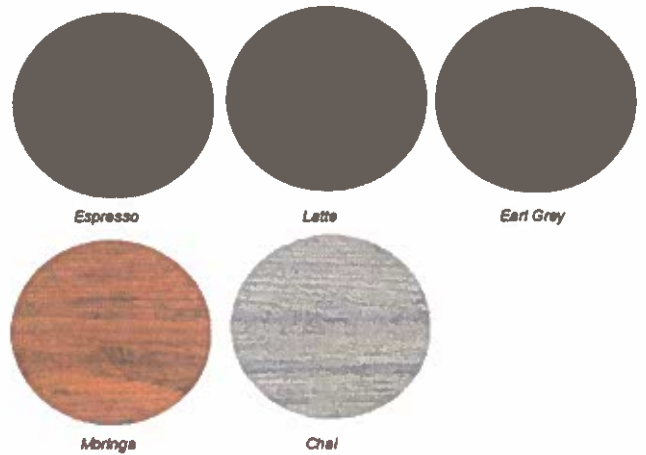


Figure 4 - Fiberon Sanctuary® Approved Colors



Figure 5 - Fiberon Concordia™ Horizon, Symmetry Cross-Sections



Figure 6 - Fiberon Concordia™ Horizon Approved Colors

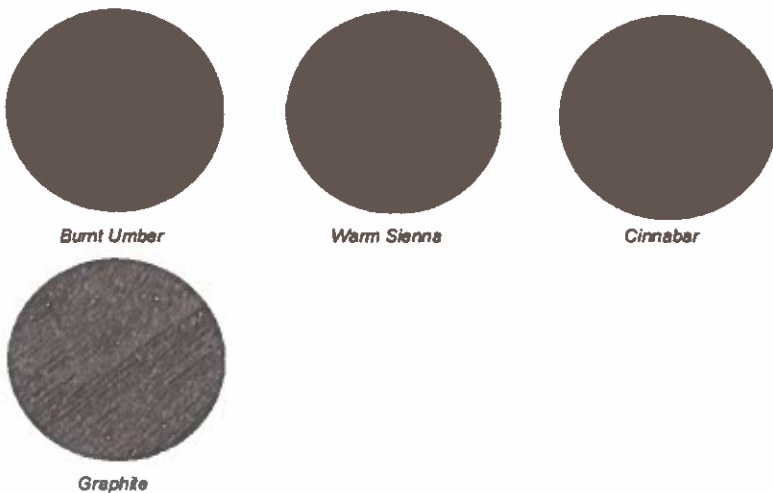


Figure 7 - Fiberon Concordia™ Symmetry Approved Colors

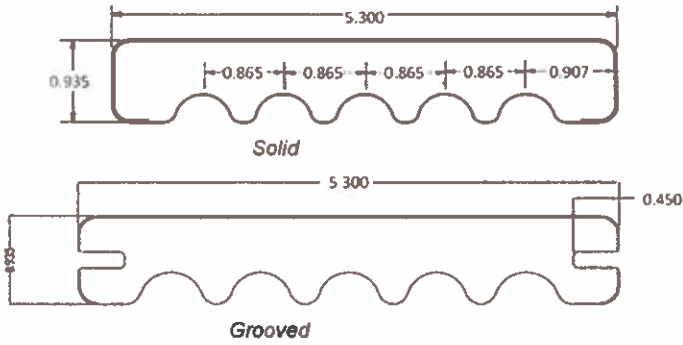
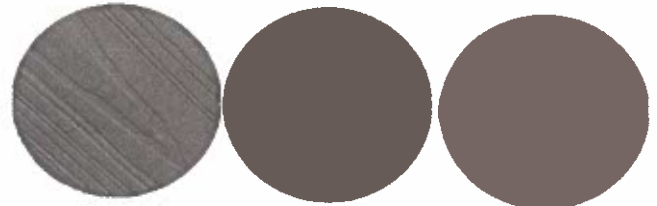


Figure 8 - Fiberon® ArmorGuard® Cross-Section



Nantucket Gray Brazilian Walnut Sandcastle
Figure 9 - Fiberon® ArmorGuard® Approved Colors

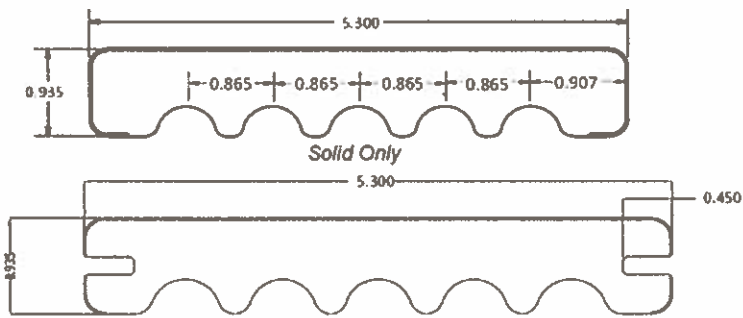


Figure 10 - Veranda Cross-Sections



Brown



Gray

Figure 11 - Veranda Composite Approved Colors

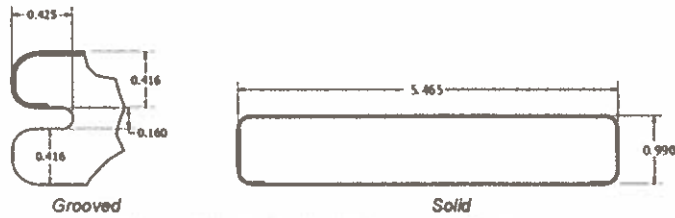


Figure 12 - Fiberon Paramount® PVC Cross-Section



Brownstone

Flagstone

Sandstone

Mineral

Figure 13 - Fiberon Paramount® PVC Approved Colors

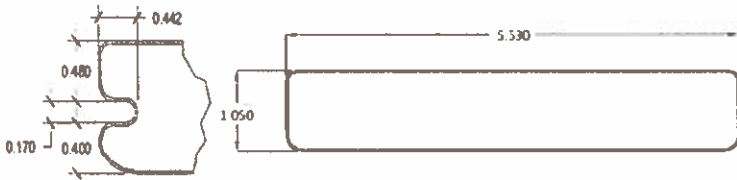


Figure 14 - Fiberon® Promenade Cross-Section



Natural Reef

Russet Dune

Sandy Pier



Shaded Cay

Weathered Cliff

Moonlit Cove

Figure 15 - Promenade Decking Approved Colors

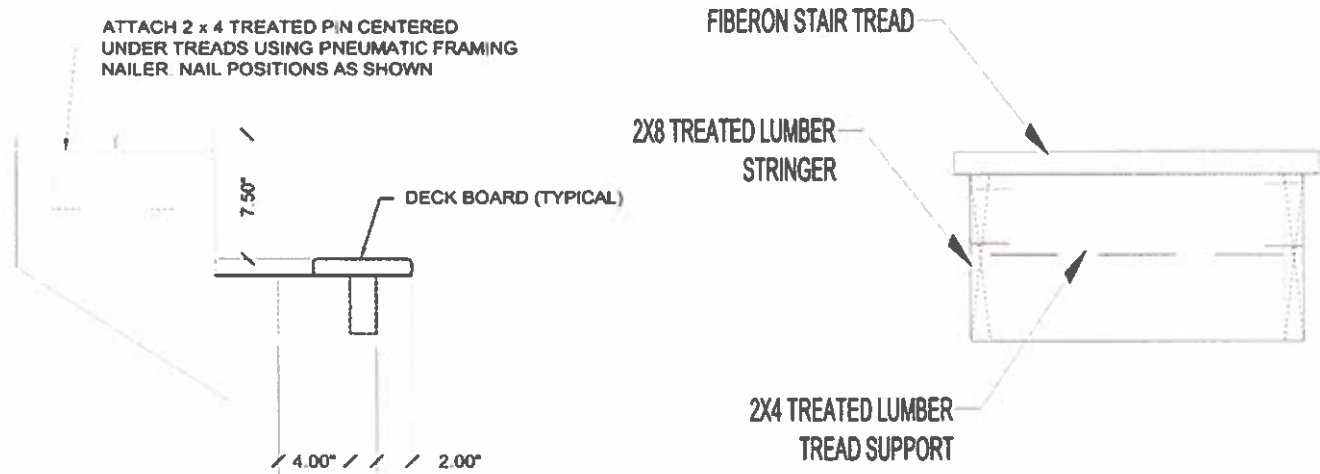


Figure 16 - Fiberon Paramount® and Promenade PVC Stair Tread Installation



Figure 17 - SplitStop™ Titan III Composite Screws (Typical)



Figure 18 - GRK Fasteners Kameleon Composite Deck Screws (Typical)



Figure 19 - Cap-Tor XD Screws



Figure 20 - Starbom Pro Plug System for Hidden Face-Fastening (Fiberon Horizon, Symmetry, Advantage, Good Life, Paramount)

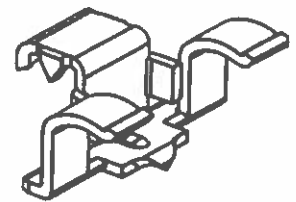
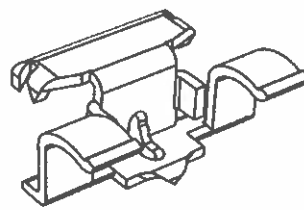


Figure 21 - Phantom GT Hidden Fastener & Phantom EC End Clip



Figure 22 - Fiberon® EdgeClip® Hidden Fastener System

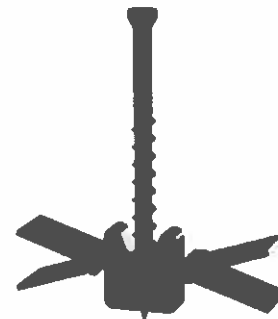


Figure 23 - Fiberon® EdgeX® Hidden Fastener System

Product Labeling

Each deck board shipment, that is covered by this **Product Evaluation Report**, must have a label attached with at least the following information:

1. Fiber Composites, LLC Name and Address
2. Product Name
3. Plant Identifier & Date Code
4. This PER Number and *Pei Evaluation Service*® Logo
5. Allowable Load and Maximum Allowable Span (Indicate Compliance with ASTM D7032)
6. WUI Rating (SFM 12-7A-4A) and SFM Label

Acceptable Evaluation Marks**Product Documentation**

A Product Evaluation Service Agreement between *Pei Evaluation Service*® and Fiber Composites, LLC

A Follow-up Inspection Service Agreement between *Progressive Engineering Inc.* and Fiber Composites, LLC

Fiber Composites, LLC Quality Control Manual - Dated: August, 31, 2020

A Test Report No. E6747.01-119-19 - ICC-ES AC174 Section 4.0 - Sanctuary, ProTect Advantage, Veranda ArmorGuard / ProTect, and Good Life Deck Boards - Dated: July 30, 2015.

A Test Report No. D7921.01-119-16 - ICC-ES AC174 - Veranda Composite Decking, Veranda ArmorGuard / ProTect, Good Life, Horizon, ProTect Advantage, and Sanctuary Deck Boards Manufactured in Meridian, Idaho - Dated: March 3, 2015.

A Test Report No. D6678.01-119-19 - ICC-ES AC174 - Veranda Composite Decking UV Resistance & Flexural - Dated: October 8, 2014.

A Test Report No. D5209.01-119-19 - ICC-ES AC174 - Fiberon Good Life Deck Boards - Dated: October 8, 2014.

A Test Report No. D3969.01-119-19 - ICC-ES AC174 - Paramount Deck Boards - Dated: July 17, 2014.

A Test Report No. D5209.03-121-24 - ASTM E84 Surface Burning Characteristics for Fiberon Good Life Decking (Uncapped Surface) - Dated: April 2, 2014.

A Test Report No. D3126.01-119-19 - ICC-ES AC174 Flexural & Stair Tread Testing for ProTect Advantage - Dated: April 2, 2014.

A Test Report No. B1352.02-122-24 - ASTM E84 Surface Burning Characteristics for Fiberon ArmorGuard - Dated: November 7, 2011.

A Test Report No. A7297.01-119-19 - ASTM D7032-07 Section 4.6 Ultraviolet (UV) Resistance Test for Fiberon Horizon and Veranda ArmorGuard Deck Boards - Dated: June 1, 2011.

A Test Report No. A5722.01-119-19 - ICC-ES AC174 for ArmorGuard Deck Boards - Dated: May 3, 2011.

A Test Report No. 97576.01-119-19 - ASTM E330 Uplift Resistance for Fiberon Grooved Deck Boards with Phantom Hidden Fastener System - Dated: March 2, 2010.

A Test Report No. 92640.01-119-19 - ICC-ES AC174 for HDPE-Capped HDPE Horizon Deck Boards - Dated: February 18, 2010.

A Test Report No. F5116.01-119-19 - ICC-ES AC174 for Horizon Symmetry Deck Boards - Dated: June 16, 2016.

A Test Report No. 15053r2 - CSFM 12-7A-4A Nominal 1"x6" ProTect Advantage FR Composite Deck 3/16" Edge-to-Edge Spacing - Dated: September 2, 2015

A Test Report No. 11127.1r1 - CSFM 12-7A-4A Fiber Composites Veranda/ArmorGuard (ArmorGuard/ProTect) Deck Plank Square Edge 1/8" Edge Gap - Dated: January 18, 2013.

A Test Report No. 12059r1 - CSFM 12-7A-4A Underside Deck Testing of Fiber Composites Veranda/ArmorGuard (ArmorGuard/ProTect) Deck Plank with 1/8" Spacing - Dated: January 22, 2013.

A Test Report No. 14006a - CSFM 12-7A-4A Deck Testing of 15/16" x 5-1/2" Fiberon Paramount (PVC) 3/16" Edge-to-Edge Spacing - Dated: March 17, 2014

A *Pei* Test Report No. 2019-6063 for ASTM D7032 Establishing Performance Ratings for Plastic Lumber Deck Boards and Stair Treads for Fiberon ArmorGuard Decking - Dated 4/5/19

A *Pei* Test Report No. 2019-6070 - Evaluation of Fiberon Good Life LITE Decking with Fiberon Cortex Hidden Fastening System - Dated 4/9/19

A *Pei* Test Report No. 2019-6079 - Deck Board Performance Testing on Good Life LITE Decking - Dated 5/15/19

A *Pei* Test Report No. 2017-6226- ASTM D7032 Stair Tread Performance Testing on Fiberon Decking Sanctuary Earl Gray and Horizon IPE - Dated July 22, 2019 - Revised on August 19, 2019.

A *Pei* Test Report No. 2017-6256 for ASTM D7032 Baseline for Wood-Plastic Composite Decking - Dated 3/15/18

A *Pei* Test Report No. 2018-6278 for ASTM D7032 Deck Board Performance Testing on New PE Formulation of Fiberon Decking - Dated 1/15/18

A *Pei* Test Report No. 2019-6252 for ASTM D7032 Deck Board Performance Testing on Fiberon® Promenade Decking - Dated 9/14/20

Product Documentation continued

A Test Report No. H2095.01-119-19 for Uplift Resistance of Wood-Plastic Composite Grooved Deck Boards with Cortex Hidden Fastening System - Dated 7/21/17

A Starborn PDF document for Pro Plug® System for Fiberon Inventory Management Program titled GEN_PPS-PVC-Fiberon_p.20170217-r.20180110.pdf - Not Dated

A Test Report No. 19052ar1 - CSFM 12-7A-4A Fire Testing of Decking Material Sanctuary FR/Advantage FR (Chestnut) 3/16" Edge-to-Edge Spacing - Dated 7/30/19

A Test Report No. 19052br1 - CSFM 12-7A-4A Fire Testing of Decking Material Sanctuary FR/Advantage FR (Gray Birch) 3/16" Edge-to-Edge Spacing - Dated 7/30/19

A Test Report No. 19052d - CSFM 12-7A-4A Fire Testing of Decking Material with Armor Guard FR (Gray) 3/16" Edge-to-Edge Spacing - Dated 7/25/19

A Test Report No. WDL-2019-16a - Formosan Subterranean Termite Resistance Study of Two Fiberon Decking Boards and Untreated Southern Pine Control - Dated: October 2, 2019.

A Test Report No. WDL-2019-16b - Decay Resistance study of Two Fiberon Decking Boards, ACQ Pressure Treated Pine, and Untreated Southern Pine Sweetgum Controls - Dated: February 19, 2019.

A Test Report No. 01.24101.02.056b(1) - Standard Test Method for Surface Burning Characteristics Performed in Accordance with ASTM E84-19 - Dated: September 4, 2019, Revised August 11, 2020.

Brands	Fiberon® (USA and International)
PVC Decking	Promenade, Paramount® Hearth and Mantel Collections
PE Decking	Concordia™ Symmetry® and Horizon® Collections, Sanctuary®, Good Life Escapes and Weekender Collections, Fiberon ArmorGuard®, Veranda® Composite Decking

Test	Method	Result*
Specific Gravity	ASTM D792	
PVC		0.65
PE		1.10

Modulus of Elasticity	EN 15534-1:2014 Annex A / ASTM D6109	
Promenade	1441 Mpa	209,036 psi / 14697 Kg / cm
Paramount	1430 Mpa	207,404 psi / 14582 Kg / cm
Concordia	3087 Mpa	321,000 - 328,000 psi / 32068 Kg / cm
Sanctuary, Sanctuary FR	3087 Mpa	318,000 psi / 33052 Kg / cm
Good Life, Good Life FR	2332 Mpa	263,000 psi / 28439 Kg / cm
Fiberon ArmorGuard	3519 Mpa	275,000 psi / 32286 Kg / cm
Veranda Composite Decking	N/A	247,000 psi / 17366 Kg / cm

Modulus of Rupture	EN 15534-1:2014 Annex A / ASTM D6109	
Promenade	28.6 Mpa	4,151 psi
Paramount	24.7 Mpa	3,588 psi / 252.32 Kg / cm
Concordia	34.1 Mpa	4,950 psi / 246.13 Kg / cm
Sanctuary, Sanctuary FR	33.0 - 34.7 Mpa	4,790 - 5,040 psi / 185.86 Kg / cm
Good Life, Good Life FR	25.4 Mpa	3,680 psi / 200.07 Kg / cm
Fiberon ArmorGuard	27.4 Mpa	3,970 psi / 242.19 Kg / cm
Veranda Composite Decking	25.1 Mpa	3,640 psi

Linear Coefficient of Expansion x 10 ⁻⁵ (in/in/°F)	ASTM D6341	
PVC		2.76 x 10 ⁻⁵ in/in/°F
PE		1.99 x 10 ⁻⁵ in/in/°F

Coefficient of Static Friction	ASTM F1679	
Promenade		0.70 dry / 0.51 wet
Paramount		0.80 dry / 0.75 wet
Concordia Symmetry Collection		0.40 dry / 0.38 wet
Concordia Horizon Collection, Fiberon ArmorGuard		0.40 dry / 0.31 wet
Sanctuary, Sanctuary FR		0.37 dry / 0.36 wet
Good Life, Good Life FR		0.37 dry / 0.33 wet

Deflection Loads Allowed / Actual	ASTM D7032	
Max Design Load Deflection - PVC		0.128 in. / 3.25 mm
Max Design Load Deflection - PE		<0.120 in. / 3.05 mm
Recovery of at least 75% - PVC, PE		meets or exceeds requirements
Creep Relaxation - PVC, PE		meets or exceeds requirements

Stair Spans	Residential On-Center Stringer Spacing
PVC Decking	24 in. - With PT SYP 2x4 blocking on edge, centered under each tread and secured with two nails at each end.
PE Decking	12 in.

Snow Load Capacity ICC-ES AC174	100 psf	300 psf	350 psf	400 psf
Promenade, Paramount, Concordia, Sanctuary, Sanctuary FR	16 in.	16 in.	16 in.	16 in.
Fiberon Armorguard, Good Life, Good Life FR, Veranda Composite Decking	16 in.	16 in.	12 in.	12 in.

Flame Spread Index**ASTM E84**

Promenade		FSI 15 Class A
Paramount		FSI 25 Class A
Sanctuary FR, Good Life FR		FSI 70 Class B
Concordia		FSI 130 Class C
Good Life, Veranda Composite Decking		FSI 135 Class C
Sanctuary, Fiberon ArmorGuard		FSI 140 Class C

Smoke Developed Index**ASTM E84**

Promenade		SDI 950
Paramount		SDI 1000
Concordia, Sanctuary, Fiberon ArmorGuard		SDI 300
Good Life, Veranda Composite Decking		SDI 400
Sanctuary FR, Good Life FR		SDI 300

CA SFM 12-7A-4 Code Compliance for use in all CA Wildland Urban Interface (WUI) fire severity zones.**Decking Alternative Method A**

PVC (Promenade, Paramount)	Part A	meets or exceeds requirements
Sanctuary FR, Good Life FR	Part A	meets or exceeds requirements
Paramount and Promenade are approved for use in Wildland Urban Interface areas of the unincorporated areas of San Diego.		

Termite Resistance Rating**ASTM D3345**

PVC, PE		meets or exceeds requirements
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Formosan Termite Resistance Rating**AWPA standard E1-09**

PE		meets or exceeds requirements
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Fungus Decay Resistance**ASTM D1413**

Promenade, Paramount, Concordia, Sanctuary, Sanctuary FR, Good Life, Good Life FR, Fiberon ArmorGuard, Veranda Composite Decking		meets or exceeds requirements
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Fastener Performance Testing**ASTM D1037 - 3.0 safety factor****Ultimate Pull-Through**

Concordia	Phantom Universal	306 psf
Good Life	Phantom Universal	284 psf

Fastener Performance Testing**ASTM E330 - 3.0 safety factor****Allowable Uplift Capacity**

Paramount	EDGE / EDGEX	277 psf
Concordia	Phantom Universal	391 psf
Concordia	EDGE / EDGEX	259 psf
Good Life	EDGE / EDGEX	267 psf

Texas Department of Insurance (TDI)**Report Number****Evaluated for compliance with the wind load specified in IRC and IBC.**

Concordia, Sanctuary, Good Life, Fiberon ArmorGuard, Veranda	MC-20	
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*See ASTM D7032 Product Evaluation Report PER-15097.

Fiberon decking is compliant with the 2016 California Green Building Standard Code "CALGreen" Title 24, Part 11, and 2015 ICC 700 National Green Building Standard.





Remove and replace existing windows with new Jeld-Wen Auralast Pine windows. Replace exterior trim around windows in-kind.














**BRINSFIELD
FENCE CO.**
EASTON MD
301-822-0766



Remove existing staircase and ramp on back of building. Reframe staircase and ramp in kind. Install new Fibron Good Life Decking. Install new railings in kind to existing.



**Town of Easton Historic District Commission
Draft Decision Summary**

Monday, January 12, 2026 at 6:00 p.m.
Town Hall Chamber 2
14 S. Harrison Street, Easton, Maryland

Archived video of the meeting is available at:

[Town of Easton Agenda and Minutes](#)
[\(eastonmd.gov\)](http://eastonmd.gov)

Attendance:

Commission Members:

- Ernie Demby, Chairperson
- Maria Brophy CFM, Vice Chairperson
- Kevin Bateman
- Jim Carr
- Joshua Startt AIA
- Michael Stuart

Staff:

- Miguel Salinas, Planning and Zoning Director
- Nicholas Johnson AICP, Town Planner (Current)
- Samantha Smith, Administrative Specialist

Absent:

Commission Members:

- Emily Carey

1. Call to Order — Chairperson Demby called the meeting to order at 6:00 pm.

2. Agenda Summary Review —

Vice Chairperson Brophy moved to approve the January 12, 2026 Agenda Summary. Commissioner Stuart seconded the motion.

Vote	<u>6 - 0 - 0 - 1</u>
FOR:	6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	1 - Carey

3. Old Business —

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a. File No.: 2025 - 1442 / HD 25 - 32
Applicant: Rauch Inc.
on behalf of For All Seasons
Location: 300 Talbot Street, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1874
Zoning: CG

Request: The Applicant is requesting an amendment to the previously approved scope of work for the replacement of approximately 130 linear feet of wooden privacy fencing located along the south of the principle structure. The new fence will be a six (6) foot tall shadowbox style wooden fence. Additionally, the Applicant is requesting to install approximately 215 linear feet of fencing along Towers Lane. This fence will be six (6) feet in height, but will decrease to four (4) feet in height once it is within 25 feet of the property line. The principal structure on this property is a non contributing structure to the Historic District.

Background: On May 12, 2025, the Commission granted a Certificate of Appropriateness for the replacement of all exterior doors in kind, the replacement of two (2) rooftop HVAC units, and the addition of nine (9) flat skylights.

Historic District Guideline references:
i. Guideline 14. Perimeter Walls and Fences

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
Benjamin VanNest, Rauch Inc.

Public Comment — None
Public Comment Written — None

Commissioner Bateman moved to approve the amended application as submitted.
Commissioner Startt seconded the motion.

Vote 6 - 0 - 0 - 1
FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
AGAINST: 0
ABSTAIN: 0
ABSENT: 1 - Carey

4. New Business —

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a. File No.: 2025 - 1624 / HD 26 - 03
Applicant: Latrish Oseko
Location: 123 S. Locust Lane, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1857
Zoning: R-7A

Request: The Applicant is requesting to install approximately 108 linear feet of wooden privacy fencing located along the rear yard, and portions of the north and south side property lines. The new fence will be a six (6) foot tall pressure treated wooden fence. The principal structure on this property is a contributing structure to the Historic District.

Historic District Guideline references:
i. Guideline 14. Perimeter Walls and Fences

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
Latrish Oseko

Public Comment — None
Public Comment Written — None

Commissioner Stuart moved to approve the application as submitted. Vice Chairperson Brophy seconded the motion.

Vote 6 - 0 - 0 - 1
FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
AGAINST: 0
ABSTAIN: 0
ABSENT: 1 - Carey

b. File No.: 2025 - 1622 / HD 26 - 01
Applicant: Ronald Newnam on behalf of TG LLC
Location: 224 N. Aurora Street, Easton, MD 21601
Tax Map 0103, Grid 00EA, Parcel 0685, Lot 1B
Zoning: R-7A

Request: The Applicant is seeking an after-the-fact approval for the replacement of the existing wooden steps situated on the north side of the front porch. The newly installed steps are constructed of pressure-treated lumber, and will be painted grey to match the color of the existing front porch. This is a contributing structure to the Historic District.

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Background: An unpermitted work notice was issued after it was discovered that the existing steps were replaced without a building permit or a Certificate of Appropriateness.

Historic District Guideline references:
i. *Guideline 64. Preserve Historic Porches*
ii. *Guideline 65. Make Sensitive Replacements*

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
Ronald Newnam

Public Comment — None
Public Comment Written — None

**Vice Chairperson Brophy moved to approve the application as submitted.
Commissioner Startt seconded the motion.**

Vote 6 - 0 - 0 - 1
FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
AGAINST: 0
ABSTAIN: 0
ABSENT: 1 - Carey

- c. **File No.:** **2025 - 1623 / HD 26 - 02**
- Applicant:** **Gordon Architects**
- Location:** 204 S. Harrison Street, Easton, MD 21601
 Tax Map 0105, Grid 00EA, Parcel 2113
- Zoning:** R-10A

Request: The Applicant is requesting the removal of approximately 24 linear feet of wooden privacy fencing located along the side yard to be replaced with a new picket style fence in the same footprint. The new fence will be five and one-quarter (5.25) feet in height, and will incorporate a decorative gate. The principal structure on this property is a contributing structure to the Historic District.

Historic District Guideline references:
i. *Guideline 14. Perimeter Walls and Fences*

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

187 **Applicant Presentation:**
188 George Gordon, Gordon Architects

189
190 **Public Comment** — None
191 **Public Comment Written** — None

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193 **Commissioner Stuart moved to approve the application as submitted. Commissioner**
194 **Bateman seconded the motion.**

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196 Vote 6 - 0 - 0 - 1
197 FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
198 AGAINST: 0
199 ABSTAIN: 0
200 ABSENT: 1 - Carey

- 201
202 **d. File No.:** 2025 - 1625 / HD 26 - 04
203 **Applicant:** Crosby & Associates, LLC
204 on behalf of Foundation of Hope Inc.
205 **Location:** 52 S. Washington Street, Easton, MD 21601
206 Tax Map 0104, Grid 00EA, Parcel 1463
207 **Zoning:** CB

208
209 **Request:** The construction of a new two-story commercial training
210 facility has been withdrawn from the January 12, 2026 Historic District
211 Commission agenda.

- 212
213 **e. File No.:** 2025 - 1626 / HD 26 - 05
214 **Applicant:** Rosin Creek Collaborative
215 on behalf of Bethel A.M.E. Church
216 **Location:** 110 S. Hanson Street, Easton, MD 21601
217 Tax Map 0104, Grid 00EA, Parcel 1915
218 **Zoning:** R-7A

219
220 **Request:** The Applicant is requesting to replace twelve (12) non-historic
221 first floor windows on the north, south, and east elevations of the structure with
222 new single-pane TDL wood windows and new exterior storm windows. This is a
223 contributing structure to the Historic District, and is subject to a preservation
224 easement through the Maryland Historic Trust (MHT).

225
226 **Background:** On September 22, 2025 the Maryland Historic Trust issued an
227 approval letter for the proposed scope of work, with the determination that it is
228 consistent with the Secretary of the Interior's Standards for the Treatment of
229 Historic Properties. This approval remains valid for a period of six (6) months
230 from the date of the aforementioned letter.

231
232 Historic District Guideline references:

- 233 i. *Guideline 6. Secretary of the Interior's Standards for the Rehabilitation of*
- 234 *Historic Properties*
- 235 ii. *Guideline 9. Secretary of the Interior's Standards for the Rehabilitation of*
- 236 *Historic Properties*
- 237 iii. *Guideline 1. Preserve Significant Historic Features*
- 238 iv. *Guideline 3. Make Sensitive Replacements*
- 239 v. *Guideline 90. Make Sensitive Replacements (Windows)*
- 240 vi. *Guideline 92. Storm Windows*

241
242 **Staff Presentation:**

243 Miguel Salinas, Planning and Zoning Director
244 Nicholas Johnson AICP, Town Planner - Current

245
246 **Applicant Presentation:**

247 Andrew Yerkes, Rosin Creek Collaborative

248
249 **Public Comment — None**

250 **Public Comment Written — None**

251
252 **Commissioner Bateman moved to approve the application as submitted.**
253 **Commissioner Startt seconded the motion.**

254
255 Vote 6 - 0 - 0 - 1
256 FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
257 AGAINST: 0
258 ABSTAIN: 0
259 ABSENT: 1 - Carey

260
261
262 **5. Discussion Item — None**

263
264
265 **6. Decision Summary Review —**

266
267 **Vice Chairperson Brophy moved to approve the December 22, 2025 Decision**
268 **Summary. Commissioner Startt seconded the motion.**

269
270 Vote 6 - 0 - 0 - 1
271 FOR: 6 - Demby, Brophy, Bateman, Carr, Startt, Stuart
272 AGAINST: 0
273 ABSTAIN: 0
274 ABSENT: 1 - Carey

277 **7. Administrative Approval** — None

278

279

280 **8. Consent Docket** — None

281

282

283 **9. Adjournment** — Vice Chairperson Brophy moved to adjourn. Commissioner Bateman
284 seconded the motion. The meeting was adjourned at 6:20 p.m.



**Town of Easton Historic District Commission
Draft Decision Summary**

Monday, February 9, 2026 at 6:00 p.m.
Town Hall Chamber 2
14 S. Harrison Street, Easton, Maryland

Archived video of the meeting is available at:
[Town of Easton Agenda and Minutes](http://eastonmd.gov)
eastonmd.gov

Attendance:

Commission Members:

- Ernie Demby, Chairperson
- Maria Brophy CFM, Vice Chairperson
- Kevin Bateman
- Jim Carr
- Michael Stuart

Staff:

- Miguel Salinas, Planning and Zoning Director
- Nicholas Johnson AICP, Town Planner (Current)

Absent:

Commission Members:

- Emily Carey
- Joshua Startt AIA

Staff:

- Samantha Smith, Administrative Specialist

1. Call to Order — Chairperson Demby called the meeting to order at 6:00 pm.

2. Agenda Summary Review —

Vice Chairperson Brophy moved to approve the February 9, 2026 Agenda Summary. Commissioner Stuart seconded the motion.

Vote	<u>5 - 0 - 0 - 2</u>
FOR:	5 - Demby, Brophy, Bateman, Carr, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	2 - Carey, Startt

3. Old Business —

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a. File No.: 2025 - 1577 / HD 25 - 101
Applicant: Anne Decker Architects
on behalf of Caroline Dalton
Location: 7 Brookletts Avenue, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1972
Zoning: R-10A

Request: The amendment to a previously approved Certificate of Appropriateness (COA) for the replacement of all windows with a two over two window design has been withdrawn from the February 9, 2026 Historic District Commission agenda.

4. New Business —

a. File No.: 2025 - 1625 / HD 26 - 04
Applicant: Crosby & Associates, LLC
Location: 52 S. Washington Street, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1463, Lot 2
Zoning: CB

Request: The Applicant is requesting approval for the construction of a new two-story, 5400 square foot structure on the vacant lot located on the corner of S. Washington Street and South Street. Proposed site improvements include the construction of an off-street parking area with seven (7) spaces, additional landscaping, and the addition of a small stormwater management feature. The materials proposed for this structure include Andrew 400 Series windows, fiberglass doors, a combination of brick and fiber cement siding, composite trim, PVC shutters, iron railings, standing seam metal roofing, and asphalt shingle roofing.

Background: On October 28, 2024, the Commission granted a Certificate of Appropriateness for this scope of work (application 2024-1318) subject to the following conditions:

1. A minimum landscape buffer of three (3) feet shall be installed between the edge of the parking lot and S. Washington Street. Planting shall be of a native species, and at least 42” in height.
2. All HVAC equipment shall be located on a non-visible rooftop location or within a side yard location that is not visible from a public right of way.
3. Trash receptacles shall be screened from view using opaque fencing.

- 95 4. Half-round gutters and downspouts shall be utilized.
96
97 5. Minor revisions to the proposed site and structure that are consistent with
98 the Historic District Guidelines may be administratively approved by staff
99 after consultation with the Chair and/or Vice-Chair of the Commission.
100

101 The Certificate of Appropriateness for application 2024-1318 lapsed as no
102 building permit was obtained within six (6) months from the date of issuance.
103 This project received a new approval from the Commission on June 23rd, 2025
104 (application 2025-1485) subject to the same five (5) conditions. However, the
105 COA for application 2025-1485 also lapsed as no building permit was obtained
106 within six (6) months of issuance.
107

108 On June 24, 2025, the project received sketch site plan approval from Planning
109 Commission (application 2025-1454), and was granted a variance from the
110 minimum parking and maneuvering space setback by the Board of Zoning
111 Appeals on July 15, 2025 (V-1490 / V 25-04).
112

113 Historic District Guideline references:

- 114 i. *Guideline 12. Universal Guidance for Parking Lots*
115 ii. *Guideline 13. New Parking Lots*
116 iii. *Guideline 19. Trees and Street Plantings*
117 iv. *Guideline 23. Vacant Lots*
118 v. *Guideline 94. Style*
119 vi. *Guideline 95. Siting*
120 vii. *Guideline 96. Orientation, Alignment, and Setback*
121 viii. *Guideline 97. Form, Massing, Height, and Scale*
122 ix. *Guideline 98. Street Rhythm*
123 x. *Guideline 99. ADA Ramps for New Construction and Additions*
124 xi. *Guideline 103. Materials*
125 xii. *Guideline 105. Exterior Color*
126 xiii. *Guideline 106. Details and Ornamentation*
127 xiv. *Guideline 107. Placement*
128 xv. *Guideline 108. Design*
129 xvi. *Guideline 109. Energy and Sustainability*
130 xvii. *Guideline 110. Exterior Lighting*
131 xviii. *Guideline 112. Proportion*
132 xix. *Guideline 113. Façade Rhythm*
133 xx. *Guideline 114. Landscape Features*
134 xxi. *Guideline 115. Roof Form*
135 xxii. *Guideline 116. Roof Material*
136 xxiii. *Guideline 117. Gutters and Downspouts*
137 xxiv. *Guideline 121. General Guidelines for Utilities for New Construction*
138 xxv. *Guideline 122. Trash and Refuse Containers*
139 xxvi. *Guideline 123. Mechanical Equipment*
140 xxvii. *Guideline 126. Arrangement*

141 *xxviii. Guideline 127. Window Type*

142
143 **Staff Presentation:**

144 Miguel Salinas, Planning and Zoning Director
145 Nicholas Johnson AICP, Town Planner - Current

146
147 **Applicant Presentation:**

148 Alan Brock AIA, Crosby & Associates, LLC
149 Kesha Haithe, Foundation of Hope Inc.

150
151 **Public Comment** — None

152 **Public Comment Written** — None

153
154 **Commissioner Bateman moved to approve the application as submitted.**
155 **Vice Chairperson Brophy seconded the motion.**

156
157 Vote 5 - 0 - 0 - 2
158 FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart
159 AGAINST: 0
160 ABSTAIN: 0
161 ABSENT: 2 - Carey, Startt

- 162
163 **b. File No.:** 2026 - 1629 / HD 26 - 06
164 **Applicant:** Brummell Does LLC: Landscaping & Lawn Care
165 on behalf of Midshore Community Foundation Inc.
166 **Location:** 100 E. Dover Street, Easton, MD 21601
167 Tax Map 0104, Grid 00EA, Parcel 1194
168 **Zoning:** CB

169
170 **Request:** The Applicant is proposing the in-kind replacement of the existing
171 four (4) foot tall wooden picket style fencing along the front property line of
172 Harrison Street, and portions of the other property lines. The principal structure
173 on this property is a contributing structure to the Historic District, and is listed on
174 the Maryland Inventory of Historic Places (T-12).

175
176 **Background:** This fence has been replaced on multiple occasions dating back to
177 1989, with the most recent replacement having received approval in July of 2006.
178 A stop work order was issued by the Building Inspection Division after it was
179 discovered that the picket fence was being replaced without a building permit or a
180 Certificate of Appropriateness.

181
182 Historic District Guideline references:
183 *i. Guideline 14. Perimeter Walls and Fences*

184
185 **Staff Presentation:**
186 Miguel Salinas, Planning and Zoning Director

187 Nicholas Johnson AICP, Town Planner - Current

188

189 **Applicant Presentation:**

190 Joe Brummell, Brummell Does LLC

191

192 **Public Comment** — None

193 **Public Comment Written** — None

194

195 **Vice Chairperson Brophy moved to approve the application as submitted.**
196 **Commissioner Stuart seconded the motion.**

197

198 Vote 5 - 0 - 0 - 2

199 FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart

200 AGAINST: 0

201 ABSTAIN: 0

202 ABSENT: 2 - Carey, Startt

203

204 **c. File No.: 2026 - 1631 / HD 26 - 07**

205 **Applicant: Callahan Signs**

206 **on behalf of Maury Donnelly & Parr, Inc.**

207 **Location: 16 N. Washington Street, Easton, MD 21601**

208 Tax Map 0103, Grid 00EA, Parcel 1212

209 **Zoning: CB**

210

211 **Request:** The Applicant is requesting to install a 25” by 27” (4.7 square
212 foot) hanging sign on the front facade of the structure. The sign will be
213 constructed of PVC and mounted to the building by an existing metal bracket. The
214 structure to which the sign will be mounted is a contributing structure to the
215 Historic District.

216
217 **Background:** This project is scheduled to appear on the February 19, 2026
218 Planning Commission agenda for signage approval where two (2) or more
219 businesses occupy one (1) building with a common entrance.

220
221 Historic District Guideline references:

222 *i. Guideline 25. General Guidelines for Signage*

223 *ii. Guideline 31. Hanging and Bracket Signs*

224

225 **Staff Presentation:**

226 Miguel Salinas, Planning and Zoning Director

227 Nicholas Johnson AICP, Town Planner - Current

228

229 **Applicant Presentation:**

230 None

231

232 **Public Comment** — None
233 **Public Comment Written** — None

234
235 **Vice Chairperson Brophy moved to table the application subject to the Planning**
236 **Commission's approval regarding the sign's placement, size, and minimum**
237 **clearance height. Commissioner Bateman seconded the motion.**
238

239 Vote 5 - 0 - 0 - 2
240 FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart
241 AGAINST: 0
242 ABSTAIN: 0
243 ABSENT: 2 - Carey, Startt
244

- 245 **d. File No.: 2026 - 1632 / HD 26 - 08**
246 **Applicant: Callahan Signs**
247 **on behalf of Neighborhood Service Center Inc.**
248 **Location: 126 Port Street, Easton, MD 21601**
249 **Tax Map 0104, Grid 00EA, Parcel 1501**
250 **Zoning: CB**

251
252 **Request:** The Applicant is requesting to install a 7” by 60” (2.92 square
253 foot) wall sign consisting of individual acrylic letters. The structure to which the
254 sign will be mounted is a non contributing structure to the Historic District.
255

256 Historic District Guideline references:

- 257 *i. Guideline 25. General Guidelines for Signage*
258 *ii. Guideline 35. Wall Signs*
259

260 **Staff Presentation:**
261 Miguel Salinas, Planning and Zoning Director
262 Nicholas Johnson AICP, Town Planner - Current
263

264 **Applicant Presentation:**
265 None
266

267 **Public Comment** — None
268 **Public Comment Written** — None
269

270 **Commissioner Bateman moved to approve the application as submitted.**
271 **Commissioner Carr seconded the motion.**
272

273 Vote 5 - 0 - 0 - 2
274 FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart
275 AGAINST: 0
276 ABSTAIN: 0

277 ABSENT: 2 - Carey, Startt

278

279 e. **File No.:** 2026 - 1633 / HD 26 - 09

280 **Applicant:** Robert Wenneson

281 **Location:** 304 S. Harrison Street, Easton, MD 21601

282 Tax Map 0105, Grid 00EA, Parcel 2269

283 **Zoning:** R-10A

284
285 **Request:** The Applicant is proposing the replacement of the existing wooden
286 picket style fencing along the south property line. The fence will consist of a
287 combination of six (6) foot tall and four (4) foot tall wooden picket fencing. The
288 principal structure on this property is a contributing structure to the Historic
289 District.

290
291 **Background:** On February 12, 2024, the Commission granted a Certificate of
292 Appropriateness for the replacement of the damaged sections of the wooden
293 picket style fencing facing Harrison Street and the rear alley (application 2024-
294 1111).

295
296 Historic District Guideline references:

297 i. *Guideline 14. Perimeter Walls and Fences*

298
299 **Staff Presentation:**

300 Miguel Salinas, Planning and Zoning Director

301 Nicholas Johnson AICP, Town Planner - Current

302
303 **Applicant Presentation:**

304 None

305
306 **Public Comment** — None

307 **Public Comment Written** — None

308
309 **Vice Chairperson Brophy moved to approve the application as submitted.**

310 **Commissioner Bateman seconded the motion.**

311
312 Vote 5 - 0 - 0 - 2

313 FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart

314 AGAINST: 0

315 ABSTAIN: 0

316 ABSENT: 2 - Carey, Startt

317
318 f. **File No.:** 2026 - 1634 / HD 26 - 10

319 **Applicant:** Thomas Lane

320 **Location:** 115 S. Harrison Street, Easton, MD 21601

321 Tax Map 0104, Grid 00EA, Parcel 1962

322 **Zoning:** R-7A

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Request: The Applicant is requesting approval for the installation of an iron handrail on the front porch steps. The proposed handrail is intended to match the existing iron railing located on the north side of the steps. This is a contributing structure to the Historic District.

- Historic District Guideline references:
- i. *Guideline 64. Preserve Historic Porches*
 - ii. *Guideline 65. Make Sensitive Replacements*

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
Thomas Lane

Public Comment — None
Public Comment Written — None

Commissioner Stuart moved to approve the application as submitted. Commissioner Bateman seconded the motion.

<u>Vote</u>	<u>5 - 0 - 0 - 2</u>
FOR:	5 - Demby, Brophy, Bateman, Carr, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	2 - Carey, Startt

- 5. **Discussion Item** — None

- 6. **Election of Officers** — The annual election for Chairperson and Vice Chairperson was tabled to the February 23, 2026 Historic District Commission meeting.

- 7. **Decision Summary Review** — The approval of the draft decision summary from the January 12, 2026 Historic District Commission meeting was tabled to the February 23, 2026 meeting.

- 8. **Administrative Approval** —
 - a. **File No.:** 2026 - 1637 / HD 26 - 11

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Applicant: Permit Flow
on behalf of Jake Marden
Location: 212 Davis Avenue, Easton, MD 21601
Tax Map 0105, Grid 00EA, Parcel 2199
Zoning: R-7A

Request: The Applicant is requesting administrative approval for the in-kind replacement of the asphalt shingle roof with new architectural asphalt shingles. Given that the request complies with §28-601.E.4.d of the Town of Easton Zoning Ordinance and the Easton Historic District Design Guidelines, the application may be administratively approved subject to the following condition:

- 1. The existing trim, fascia, soffit and gutters shall remain.

This is a contributing structure to the Historic District.

Historic District Guideline references:
i. Guideline 2.5 Staff Approvals
ii. Guideline 68. Maintain Historic Roof Shape
iii. Guideline 70. Roof Material

b. File No.: 2026 - 1638 / HD 26 - 12
Applicant: C&C Architecture
on behalf of Walbridge Real Estate Investments LLC
Location: 201 E. Dover Street, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1167
Zoning: CB

Request: The Applicant is requesting administrative approval for the installation of new HVAC units along the east side of the structure. Given that the request complies with §28-601.E.4.d of the Town of Easton Zoning Ordinance and the Easton Historic District Design Guidelines, the application may be administratively approved subject to the following conditions:

- 1. Any exterior line sets shall be painted to match the color of the surface to which they are attached.
- 2. The unit(s) must be fully screened from public view from the right of way. Specifications for any screening material must be submitted to staff for review prior to installation.
- 3. Line sets shall enter the building through existing openings or non-historic material (such as modern foundation infill) wherever possible. If penetration through historic masonry or siding is required, it must be done through mortar joints rather than through the face of the brick or stone.

414 4. Mechanical equipment shall be floor-mounted on a level pad rather than
415 bracketed to the historic exterior walls to prevent structural damage or
416 vibration-related degradation of the masonry.

417
418 This is a contributing structure to the Historic District.

419
420 Historic District Guideline references:

- 421 i. *Guideline 2.5 Staff Approvals*
- 422 ii. *Guideline 48. HVAC*

423
424 **c. File No.:** 2026 - 1639 / HD 26 - 13
425 **Applicant:** Foundation of Hope Inc.
426 **Location:** 52 S. Washington Street, Easton, MD 21601
427 Tax Map 0104, Grid 00EA, Parcel 1463, Lot 2
428 **Zoning:** CB

429
430 **Request:** The Applicant is requesting administrative approval for the
431 temporary placement of a 16 square foot sign. The sign will be displayed for a
432 duration of approximately 60-90 days. Given that the request complies with §28-
433 601.E.4.d of the Town of Easton Zoning Ordinance and the Easton Historic
434 District Design Guidelines, the application may be administratively approved as
435 submitted.

436
437 Historic District Guideline references:

- 438 i. *Guideline 2.5 Staff Approvals*
- 439 ii. *Guideline 25. General Guidelines for Signage*
- 440 iii. *Guideline 28. Free-standing Signs*

441
442 **d. File No.:** 2026 - 1645 / HD 26 - 16
443 **Applicant:** The FA Taylor Company LLC
444 on behalf of James Middleton
445 **Location:** 210 Goldsborough Street, Easton, MD 21601
446 Tax Map 0103, Grid 00EA, Parcel 1134
447 **Zoning:** R-7A

448
449 **Request:** The Applicant is requesting administrative approval for the in-kind
450 replacement of the asphalt shingle roof with new architectural asphalt shingles.
451 No trim, fascia, soffit or gutters will be replaced. Given that the request complies
452 with §28-601.E.4.d of the Town of Easton Zoning Ordinance and the Easton
453 Historic District Design Guidelines, the application may be administratively
454 approved as submitted. This is a contributing structure to the Historic District.

455
456 Historic District Guideline references:

- 457 i. *Guideline 2.5 Staff Approvals*
- 458 ii. *Guideline 68. Maintain Historic Roof Shape*
- 459 iii. *Guideline 70. Roof Material*

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9. Consent Docket — None

10. Adjournment — Commissioner Bateman moved to adjourn. Vice Chairperson Brophy seconded the motion. The meeting was adjourned at 6:18 p.m.



TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #:	2026 - 1662
Date Received:	03/02/2026
Fee Paid:	\$25.00
HDC Meeting Date:	03/09/2026
Date Property Posted:	-

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING
 DEMOLITION
 SIGNAGE
 FENCING
 OTHER
 NEW CONSTRUCTION/ADDITION
 EXTERIOR ALTERATIONS
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 218 North Aurora Street, Easton, MD 21601
 Contributing
 Non-Contributing
 YEAR BUILT: 1900
 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: Nely Laparra
 TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent *(If other than property owner, written authorization from owner is required.)*

NAME: Nathan Whitaker
 TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Description of Proposal (include additional sheets, as necessary)

Roof Replacement

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: Nathan Whitaker
 Date: 3/2/2026
 Printed Name of Applicant or Agent: Nathan Whitaker

Job Notification: 2652: Nely Laparra

From Adam Whitaker [REDACTED]

Date Wed 2026-02-25 10:19 AM

To Nate Precision Exteriors [REDACTED]



@Nate Whitaker

Approved and Down payment was made in cash. This will need to go through Easton Historic District approval. Call Nick at Planning and Zoning (410)822-1943 to see what they need for that. House was built in 1900 but the main roof does have plywood from the last replacement. The porches may have some cedar shake that needs to be removed but I could not tell for sure, lots of snow and ice when I inspected.

Nely is the daughter of the couple that owns it and they don't speak much English so she is the best contact.

Roof Color: Brownwood
Drip Edge Color: White
Chimney Flashing Color: Brown
Sealant Color: Brown
Pipe Flashing Color: Brown
Permit Required: Yes
Order Step Flashing: Yes

Order Trim Coil: Yes
Roof Load: No (Electrical Lines)

Make sure Kenny knows that most of the house is 12/12 pitch but that part is all plywood. Also, the yard is very tight. Buggy can go down the left side driveway but not the right side. And, it can not be roof loaded due to electrical lines.

Thanks,
Chris

[View the Message](#)

Customer contact information:

Laparra, Nely

Job: 2652

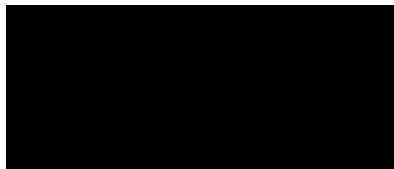
218 North Aurora Street

Easton, MD 21601



Best Regards,

Adam Whitaker



Ask about our financing options!

Check out our latest projects near you!

<https://www.precision-exteriors.com/roofer-project-map>

Reply directly to this email to respond.

[View the Job](#)



Precision Exteriors-Eastern Shore
118 Riverside Drive,
Cambridge, MD 21613

Company Representative
Chris Hyde

Roof Replacement Estimate

Nely Laparra
218 North Aurora Street
Easton, MD 21601

Job: 2652: Nely Laparra

Roofing Section

- Remove existing shingles down to deck
- Re-nail any loose wood. If bad or rotten wood is discovered, it will be replaced at a price of \$65 per sheet OSB and \$75 per CDX. Any 2x material will be replaced at a price of \$8/linear ft
- Install aluminum drip edge to the perimeter of the roof
- Inspect all Wall and Step Flashing and replace where necessary
- Install 3' of ice and water shield at all gutter lines
- Install Owens Corning Synthetic underlayment to keep roof dry
- Install Owens Corning Starter Strip Shingles along all gutter lines and rake edges
- Install Owens Corning TruDefinition Duration Limited Lifetime Dimensional Shingles per specifications using 1 1/4" roofing nails.
- Install Owens Corning Hip & Ridge Shingles
- Install new ridge vent w/ weather protector
- Install new pipe gaskets
- Install chimney flashings (chimney will be angle ground into brick/mortar 1/2")
- Clean up all job-related debris
- Provide owner with Owens Corning Platinum Warranty (25-Year Workmanship and 50-Year Non-Prorated Materials)

Roof Color:
Drip Edge Color:
Chimney Flashing Color:
Sealant Color:
Pipe Flashing Color:

Permit Required: Yes
Order Step Flashing: Yes
Order Trim Coil: Yes
Roof Load: No (Electrical Lines)
Bring Buggy: Yes
Register Warranty Platinum Preferred

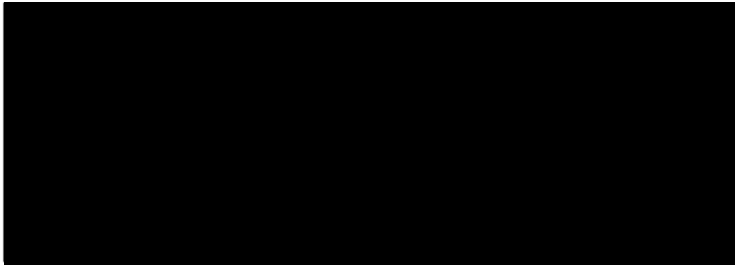
Material Placement Area:
Dumpster Location:
Customer prefers Text Phone Email

Additional Instructions: Tarp all landscaping, walkways and outdoor A/C equipment to avoid damage from falling debris.

NOTE - THE ENTIRE UPPER ROOF HAS HAD PLYWOOD INSTALLED TO REPLACE THE CEDAR SHAKE SHINGLES. AT THE TIME OF INSPECTION, I COULD NOT DETERMINE WHETHER THE SAME HAD BEEN DONE ON THE FRONT PORCH AND REAR LOWER ROOF. IF THOSE SECTIONS STILL HAVE CEDAR SHAKES, THEY WILL BE REMOVED AND REPLACED WITH PLYWOOD AT AN ADDITIONAL CHARGE OF \$1500.

Materials	Qty	Unit
Owens Corning TruDefinition Duration AR (3 BD/SQ)	16.00	SQ
Owens Corning ProEdge AR (33') - Standard Colors	3.00	BD
Owens Corning Starter Strip Plus - 7 3/4" (105')	3.00	BD

Owens Corning RhinoRoof U20 Synthetic Underlayment (10 sq)	1.00	RL
Owens Corning VentSure Rigid Strip w/ Weather PROtector - 12' (4')	12.00	EA
Resisto Economy Ice and Water Shield - Unboxed (2 sq)	4.00	RL
ACM Aluminum Prebent Step Flashing - 5"x5"x8" (50 PC/BD)	1.00	BD
ACM Aluminum Drip Edge - .019 - 1.85" (10')	27.00	PC
Vulkem 116 Polyurethane Sealant (10.1 oz)	2.00	EA
IPS Aluminum Base Pipe Flashing - 1"-4"	1.00	EA
Roofing Coil Nails - 1 1/4" (7200 Cnt)	1.00	BX
ABC Staples - 5010D - 1/2"x5/16" (5000 Cnt)	1.00	BX
ACM Painted Aluminum Trim Coil - 24"x50'	1.00	RL
Labor		
Tear off and Install Architectural Shingles	16.00	SQ
Steep Fee - 12/12 Pitch	12.00	SQ
Roof Buggy	1.00	EA
Steep Slope - Install Chimney Flashing	2.00	LF
Other - Dump Fees Under 20 Sq	16.00	EA
Ground Drop	16.00	EA
Platinum Warranty	16.00	EA



GENERAL TERMS & CONDITIONS

BINDING: This Agreement in conjunction with referenced plans constitutes the entire understanding of the parties and no other understanding, collateral or otherwise, shall be binding unless in writing and signed by both parties. This Agreement is binding upon heirs, executors, administrators, and successors and assigns of the Owner and may be enforced against any one or more of us. Owners, if more than one person, agree that the acts of one Owner shall be binding on the other(s).

PRECEDENCE OF CONTRACT DOCUMENTS: In the case of ambiguity or conflict between contract documents, order of precedence shall be as follows:

1. Contract and Specifications as listed in this Contract
2. Additional Work Requests (AWRs)
3. Plans, as referenced in Contract

OWNERSHIP OF PROPERTY: The undersigned Owner(s) warrant and certify that I/we am/are in full title and true owner of the property to be improved.

LOCATION MAP: The Owner(s) agree(s) to hold Precision Exteriors harmless for any claims or damages against the contractor by reason of any mistake on the part of the Owners' map location, survey, or by reason of the violation of any zoning or deed restriction.

INSURANCE: Owner is to carry fire, tornado and other necessary insurance. Precision Exteriors Services, Inc. is to carry liability, property damage and workmen's compensation insurance in accordance with Maryland, Delaware, and Pennsylvania State law.

MATERIAL AVAILABILITY: Precision Exteriors will use its best efforts to procure the specified materials. If such materials are unavailable at the time of order, Precision Exteriors may substitute with like kind and quality materials with owner's consent.

PRODUCT VARIATIONS & MATCHING: Natural products, such as wood, stone & granite, and manufactured products, such as roofing, siding & flooring, by their inherent qualities may vary in grain, pattern, color and other characteristics from one piece to another, including from samples provided for Owner's selection. Additionally, products specified to "match existing" may also exhibit variation due to product age, exposure and/or manufacturing changes.

Products specified to "match existing" shall be selected to blend with existing from materials as available from local stock. Such product variations shall not be reason for rejection or replacement.

UNFORESEEN CONDITIONS: This contract is prepared on the express assumption that the existing structure is sound, level and in good condition. Hidden and/or unforeseen conditions that were not disclosed in advance in writing or could not be determined by visual inspection prior to starting work may arise during the course of work. Examples include but are not limited to: structural deficiencies; termite damage or rot; discovery of hazardous materials; rocks or other soil conditions effecting excavation and foundation work; pipes, conduits, electrical wiring, vents, columns or other obstacles not visually apparent until walls are opened. Precision Exteriors is not responsible for changes, delays, problems, additional work and additional costs that may be required to resolve the deficiencies or conditions.

ENVIRONMENTAL HAZARDS: The intent of this project is to perform renovation and remodeling work in accordance with the scope of work. Unless specifically stated in Article II, no type of environmental remediation is included nor has Precision Exteriors made any investigation, claim, representation or warranty as to the presence or lack of radon, mold, lead, asbestos or other environmental hazard or pollutant. The United States Environmental Protection Agency (EPA) and some local jurisdictions/agencies have expressed concern over the presence of lead and/or radon gas in buildings. Precision Exteriors is a lead-safe remodeler.

OPT OUT PROVISION, RIGHT TO STOP WORK and NON-PAYMENT: If any payment under this agreement is not made when due, the contractor may suspend work on the job until such time as all payments due have been made. The parties hereto further agree that title to all removable equipment, parts, accessories and other materials installed hereunder shall remain as contractors, as personal property, until all monies due contractor have been paid in full. Under payment section above a portion of the first payment will be applied towards administrative and sales expenses. Either Precision Exteriors or the Owner can opt out of the contract at any time, upon written notice, at which time Precision Exteriors will invoice the Owner for final payment of all amounts due and owing for labor performed and materials then delivered, bought or allocated and/or any obligation incurred by Precision Exteriors in the normal execution of the Contract, including a portion of project profit and overhead costs. A contractor cannot accept more than '1/3' deposit for construction work.

OWNER-SUPPLIED & SALVAGED ITEMS: Contractor will advise Owner of anticipated installation date of Owner supplied items. Precision Exteriors will not be responsible for construction delays if said items are not available. Special trips or other delay related expenses will be the responsibility of the Owner. Salvaged items are not warranted for fit or function and may not be suitable for re-use or re-installation. Precision Exteriors does not warranty Owner-supplied and/or salvaged items.

CHANGES TO CONTRACT: May be requested by Owner and/or generated by Precision Exteriors. Any changes to this contract shall be in writing and signed by both parties. Change Orders and Additional Work Orders under \$2,000.00 will be paid in full at the time of acceptance. Change Orders and Additional Work Orders \$2,000.00 and over will require a 50% deposit upon acceptance with the balance paid in full at the next scheduled progress payment. Many of the product & material selections made are special order, have extended lead times and are ordered in advance of expected installation date. Cancellation of special-order items may not be possible. Some items may be returnable but may have substantial restocking fees. All cancellation and re-stocking fees will be the responsibility of the Owner.

FINAL PAYMENT & SUBSTANTIAL COMPLETION: Owner & Precision Exteriors agree to abide by Maryland, Delaware, and Pennsylvania State law concerning final payments; in the event an item has not been delivered or installed at the time of substantial completion, Two Hundred percent (200%) of the cost of the un-installed item(s) can be withheld from the final payment. Upon installation of said item(s) all balances will be due. Substantial Completion is defined as the date when the work is sufficiently completed in accordance to Contract, plans and/or specifications, so that the owner may resume use of the contracted area. A homeowner may request that a contractor purchases a performance bond for additional protection.

COLLECTIONS: If payment of is not made within fifteen (15) days of the due date, Contractor may impose a late charge of one and one-half (1.5%) percent per month of any monies owed. A Thirty-Five (\$35.00) dollar charge for each returned check shall be applied. If this contract is turned over to an attorney for collection; the owners agree to be responsible for all costs incurred by Contractor, including actual attorney fees and court costs.

PROPERTY LIEN: If the work is performed herein and the owners fail to pay for said work, Precision Exteriors may be entitled to file a mechanics lien against property. Upon receipt of final payment, Precision Exteriors agrees to provide a Release of Lien from our company alone.

ACCESS: The Owner hereby authorizes Precision Exteriors, its' employees and subcontractors, and/or agrees to obtain consent for Precision Exteriors, to enter upon the said premises and any adjoining premises, if necessary, in order to enable Precision Exteriors to commence and/or complete the work to be performed hereunder. In the event Precision Exteriors shall be prevented from entering upon the said premises or adjoining premises and shall thereby be prevented from completing the said Contract, then, in that event, Precision Exteriors shall be relieved from further liability hereunder and will invoice the Owner in accordance with the OPT OUT PROVISION, RIGHT TO STOP WORK and NON PAYMENT clause of this contract. Owner further authorizes Precision Exteriors to place a sign upon premises and grants unrestricted rights to use of photographic images of the project.

CLEAN UP: Work area shall be broom-swept daily. Precision Exteriors shall employ industry-standard dust protection materials and methods to minimize exposure of non-work areas; however, due to the nature of remodeling, some dust infiltration will occur. In homes built before 1978, Precision Exteriors shall employ lead-safe work practices in accordance with EPA regulations. Precision Exteriors, at its discretion, shall place a dumpster at the job site or stockpile debris for regular disposal. Precision Exteriors shall remove all work-related debris and surplus material from the property upon completion and leave the work area in a broom-swept condition.

YARD CONDITION: Precision Exteriors shall take normal precautions in the course of the work to protect existing property. Precision Exteriors shall not be liable or responsible for damage to the lawns, shrubbery, trees, walks, driveways, patios, etc. in the work area and/or during normal course of execution of the contract. If project includes excavation, Precision Exteriors will backfill and return yard to rough grade.

WARRANTIES: All materials used shall be of good quality and suitable for its intended use. All work to be completed in a workmanlike manner according to standard industry practices for remodeling.

All Workmanship will be guaranteed as per estimate details above upon final payment in full.

Warranties are in effect from date of Substantial Completion without additional cost to the owners. Materials carry a one-year warranty, added manufacturers' warranties may apply. Owner-supplied and/or salvaged items are not warranted by Precision Exteriors. The Owner(s) agrees that with respect to all accessories purchased by the contractor for installation such as heaters, light fixtures, plumbing fixtures, flooring, rugs, tiles, etc. that they shall look solely to the manufacturer's warranty and not the contractor. The parties hereto further agree that there are no warranties or representations made by or on behalf of the Contractor other than those expressly specifically set forth herein. Payments as per the agreement must be paid in full to claim any warranties. No claim may be submitted by the Owner(s) to arbitration or against the Home improvement Guaranty Fund unless and until this Contractor has been given the opportunity to repair any claimed defect.

WORK BY OTHER THAN CONTRACTOR: Owner shall not authorize or permit any work to be performed or any materials to be installed or supplied to the property by any person or persons not employed by or under the contract of the Contractor, without the prior written consent of the Contractor.

MARKETING: Precision Exteriors will use your building in our marketing efforts including placement of a Precision Exteriors sign on your property


FOR MARYLAND ONLY MHIC NOTICE: All Home Improvement Contractors and Subcontractors must be licensed by the Maryland Home Improvement Commission (MHIC). Anyone may ask the Commission about a contractor or subcontractor. The Commission's address is 500 North Calvert Street, Baltimore, Maryland 21202. The telephone numbers are 410-230-6309 and 1-888-218-5925. The Commission's website is

www.dlr.state.md.us/license/mhic/. Formal mediation of disputes between homeowners and contractors is available through the Commission; The Commission administers the Guaranty Fund, which may compensate homeowners for certain actual losses caused by acts or omissions of licensed contractors; and a homeowner may request that a contractor purchase a performance bond for additional protection against losses not covered by the Guaranty Fund.

INDEMNIFICATION: The Client shall indemnify and save and hold harmless the Owners and employees of Precision Exteriors Services, Inc. from and against any loss or liability, damage, cost and expense, including but not limited to reasonable attorney fees, for injury, death, loss or damage of whatever nature to any person, property or any other claim arising from the services provided under this agreement.

LIMITATION OF LIABILITY: To the fullest extent permitted by applicable law the total aggregate liability of Precision Exteriors Services, Inc., regardless of whether such liability is based on breach of contract, tort, strict liability, breach of warranty, failure of essential purpose or otherwise, in connection with the performance of the Contracting or otherwise under this Agreement, shall be limited to the fees actually paid to Precision Exteriors Services, Inc. in respect of such Contracting.

ARBITRATION OF DISPUTES: If any dispute arises among the parties; they agree to settle the dispute with binding arbitration at the Better Business Bureau. Fees charged by the arbitrators will be shared equally. In agreeing to Arbitration; we both acknowledge that we are giving up the right to have the dispute settled in any other form we instead are accepting the use of this private arbitration for final resolution. In accordance with Business Regulation Article, 8-405(c), Annotated Code of Maryland, Delaware, and Pennsylvania, a claim against the home improvement guaranty fund by an owner shall be stayed until completion of any mandatory arbitration proceeding.

 e-Signed by Chris Hyde

Company Authorized Signature

02/16/2026

Date

 e-Signed by Nely Laparra

Customer Signature

02/17/2026

Date

Customer Signature

Date



TruDefinition®
DURATION® SHINGLES
with SureNail® Technology



Colonial Slate†

TruDefinition® DURATION® SHINGLES

with SureNail® Technology

Bold contrast. Deep dimension. TruDefinition®

TruDefinition® Duration® Shingles are specially formulated to provide great contrast and dimension to any roof.

Through the use of multiple granule colors and shadowing, TruDefinition® Duration® Shingles offer a truly unique and dramatic effect. This exclusive combination of color and depth is what makes TruDefinition® Duration® Shingles like no other.

TruDefinition® Duration® Shingles are available in popular colors with bold, lively contrast and complementing shadow lines for greater dimension. They feature a Limited Lifetime Warranty** (for as long as you own your home), 130-MPH Wind Resistance Limited Warranty* and an Algae Resistance Limited Warranty.* Beyond the outstanding curb appeal and impressive warranty coverage, they also come with the advanced performance of patented SureNail® Technology.



The SureNail® Difference—
A technological breakthrough
in roofing. The innovative

features of Owens Corning™ TruDefinition® Duration® Shingles with patented SureNail® Technology offer the following:

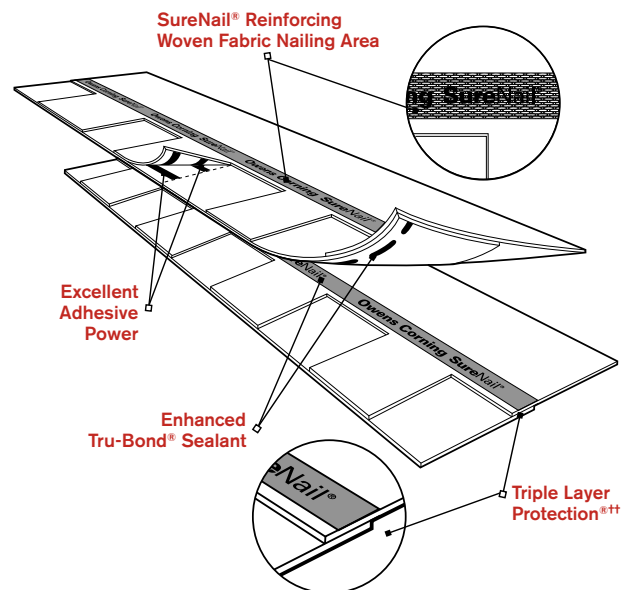
Breakthrough Design. Featuring a tough, woven engineered reinforcing fabric to deliver consistent fastening during installation.

Triple Layer Protection.® A unique “triple layer” of reinforcement occurs when the fabric overlays the common bond of the shingle laminate layers that offers excellent fastener holding power.

Superior Adhesion. Our enhanced Tru-Bond® sealant grips tightly to the engineered fabric nailing strip on the shingle below.

Excellent Adhesive Power. Specially formulated, wide adhesive bands help keep shingle layers laminated together.

Exceptional Wind Resistance. Engineered to deliver 130-MPH* wind warranty performance with only 4 nails. Fewer nails required can mean fewer deck penetrations.





Amber†



Desert Tan†



Brownwood†



Quarry Gray†



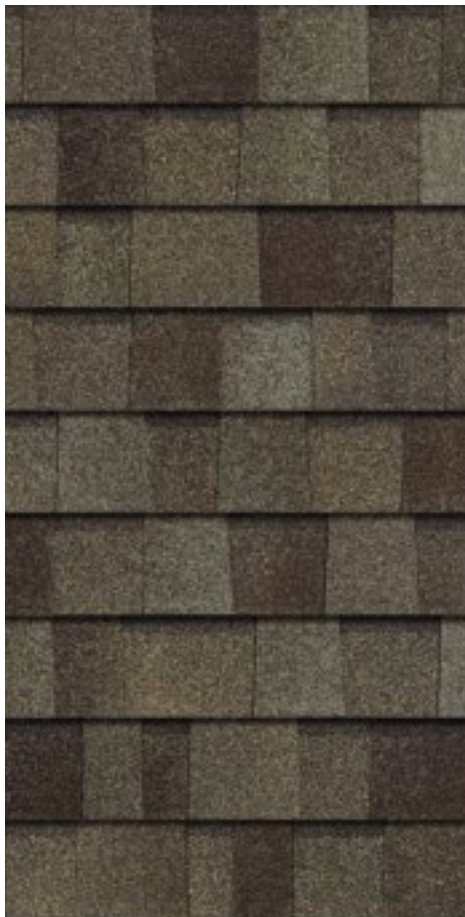
Sierra Gray†



Shasta White†



Teak+



Driftwood+



Onyx Black+



Colonial Slate+



Harbor Blue+



Chateau Green+

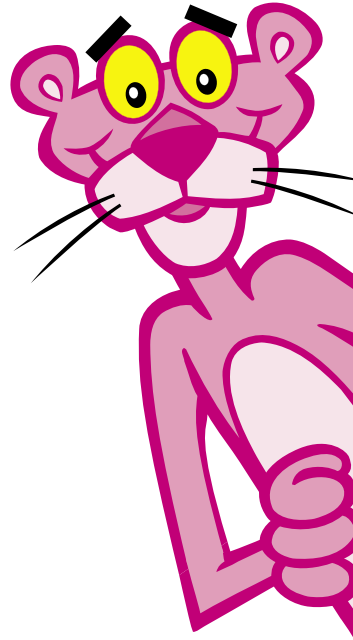




Estate Gray†

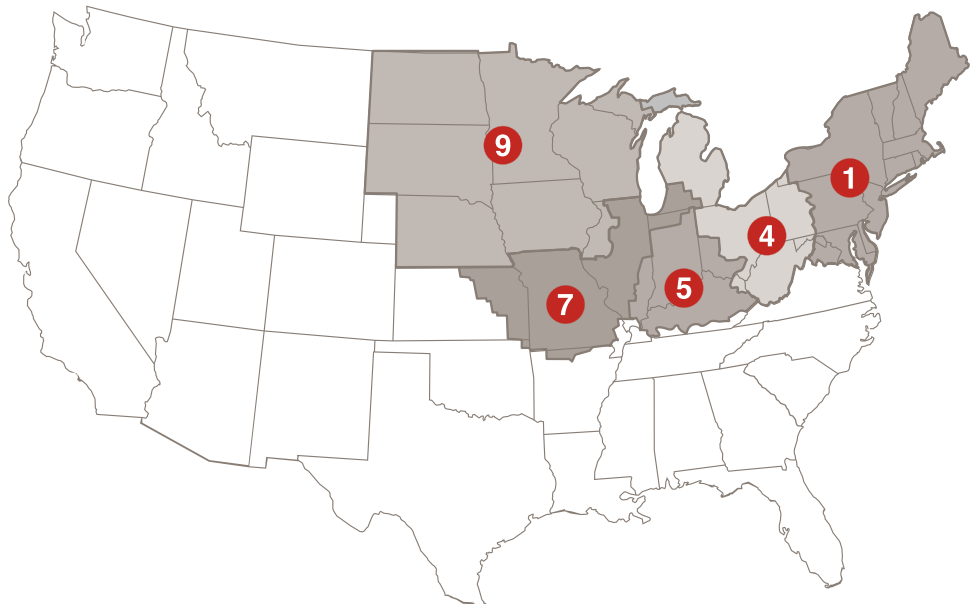


Slatestone Gray†
Not available in Service Areas 4, 5, 7, 9.



Terra Cotta†

COLOR AVAILABILITY MAP



ENERGY STAR® IS FOR ROOFS TOO



Similar to the energy-efficient appliances in your home, roofing products can provide energy-saving qualities. Owens Corning™ ENERGY STAR®-qualified shingles can help reduce your energy bills when installed properly. These shingles reflect solar energy, decreasing the amount of heat transferred to a home's interior – and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

Product Attributes

Warranty Length*

Limited Lifetime^{††} (for as long as you own your home)

Wind Resistance Limited Warranty*

130 MPH



Algae Resistance Limited Warranty*

10 Years

TruPROtection® Non-Prorated Limited Warranty* Period

10 Years

TruDefinition® Duration® Shingles Product Specifications

Nominal Size	13 1/4" x 39 3/8"
Exposure	5 5/8"
Shingles per Square	64
Bundles per Square	3
Coverage per Square	98.4 sq. ft.

Applicable Standards and Codes

ASTM D228
ASTM D3018 (Type 1)
ASTM D3462
ASTM D3161 (Class F Wind Resistance)
ASTM D7158 (Class H Wind Resistance)
ASTM E108/UL 790 (Class A Fire Resistance)
ICC-ES AC438*
UL ER2453-01 ^{††}
Shasta White color meets ENERGY STAR® requirements for initial solar reflectance of 0.25 and 3-year aged solar reflectance of 0.15; 2013 California Building Energy Efficiency Standards, Title 24, Part 6 requirements; rated by the Cool Roof Rating Council (CRRC).

* See actual warranty for complete details, limitations and requirements.

** 2013 Roofing Homeowner Brand Awareness Study by Owens Corning Roofing and Asphalt, LLC.

† Owens Corning Roofing strives to accurately reproduce photographs of shingles. Due to manufacturing variances, the limitations of the printing process and the variations in natural lighting, actual shingle colors and granule blends may vary from the photo. The pitch of your roof can also impact how a shingle looks on your home. We suggest that you view a roofing display or several shingles to get a better idea of the actual color. To accurately judge your shingle and color choice, we recommend that you view it on an actual roof with a pitch similar to your own roof prior to making your final selection. Color availability subject to change without notice. Ask your professional roofing contractor for samples of colors available in your area.

†† This illustration depicts Triple Layer Protection® and the amount of Triple Layer Protection® may vary on a shingle-to-shingle basis.

‡ Tru-Bond® is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing and Asphalt, LLC.

‡‡ 40-Year Limited Warranty on commercial projects.

Owens Corning™ Roofing Preferred Contractors are independent contractors and are neither affiliates nor agents of Owens Corning Roofing and Asphalt, LLC, or its affiliated companies.

SureNail® Technology U.S. Patent 7,836,654 and other patents pending.

ENERGY STAR and the ENERGY STAR mark are registered trademarks of the U.S. Environmental Protection Agency.

International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles.

Underwriters Laboratories Evaluation Service Evaluation Report.

^ Excludes non-Owens Corning™ roofing products such as flashing, fasteners and wood decking.



HOME SWEET HOME

Your home is your sanctuary. It's the place where you want to feel the most comfortable. Safe. Protected. But no matter how much you love your house, it seems the work is never completely done. And if purchasing a new roof is on your to-do list, it may seem like a daunting task — especially if your roof is already damaged or leaking. Since a roof plays such an important role in protecting you and your family from the elements, you realize that you can't let the damage get out of hand.

Don't worry, we know that a roof replacement project is a big, important decision. You can feel confident about choosing our roofing products — Owens Corning has been a recognized leader in the building industry for over 75 years. In fact, we're America's #1 roofing brand.** Not only can we help you choose the right shingle and roofing system components, we can also help you select the right contractor for the job — an Owens Corning™ Roofing Preferred Contractor.

Together we can make this a positive experience — an opportunity, really. This is your chance to choose a roof that not only has outstanding performance, but also has exceptional beauty. So for years to come, you'll feel great every time you pull in the driveway.

Protected. Proud. Home.



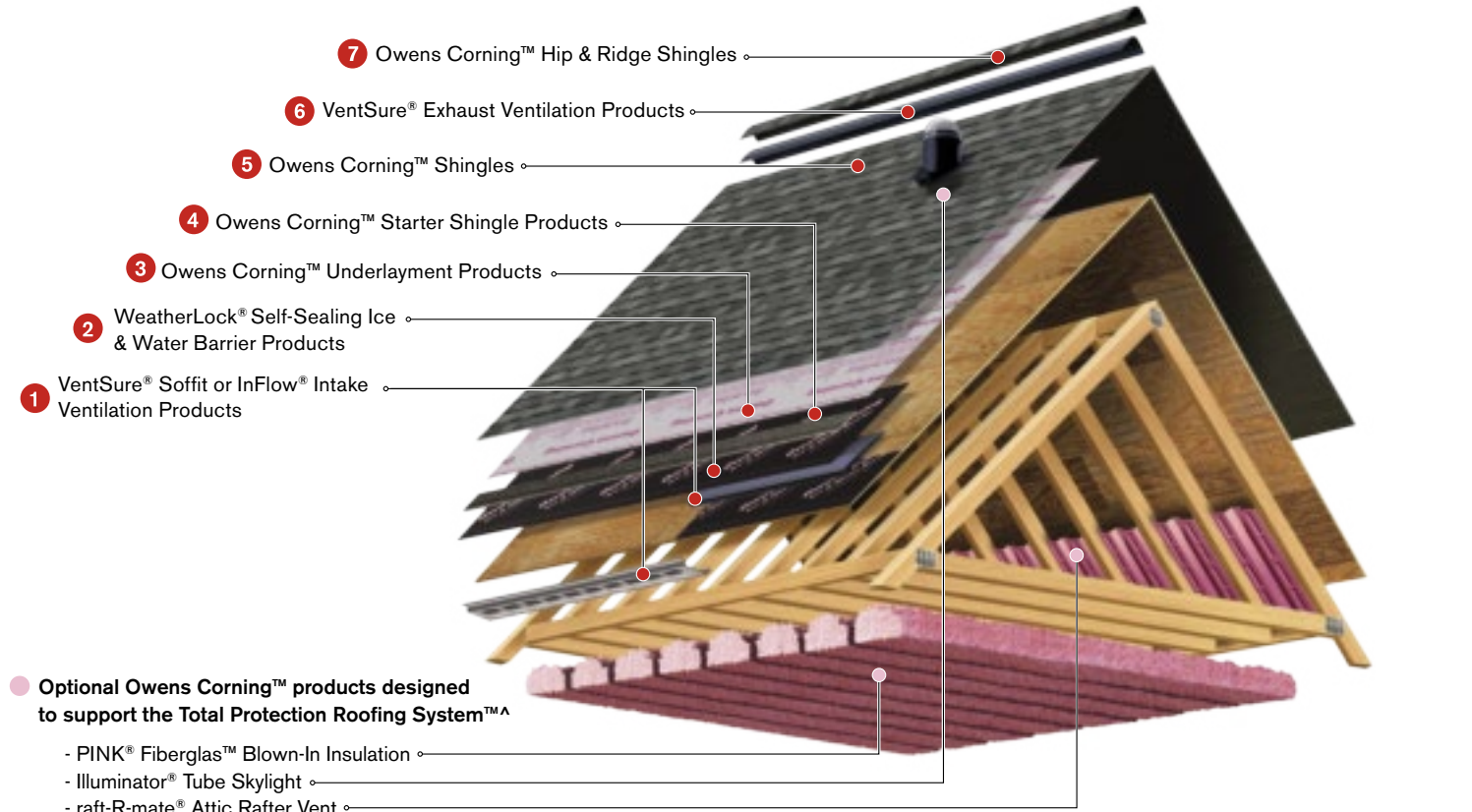


The Total Protection Roofing System™[^]

Working together to help protect and enhance your home.

It takes more than just shingles to protect your home. It takes an integrated system of components and layers designed to withstand the forces of nature outside while controlling temperature and humidity inside.

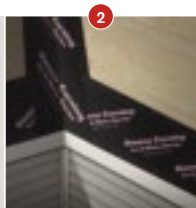
The Owens Corning™ Total Protection Roofing System™[^] gives you the assurance that all of your Owens Corning™ roofing components are working together to help increase the performance of your roof – and to enhance the comfort and enjoyment of those who live beneath it.



[^]Excludes non-Owens Corning™ roofing products such as flashing, fasteners and wood decking.



Help protect against heat and moisture buildup by creating a balanced flow of air through your attic.



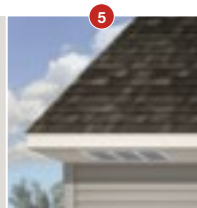
Help protect vulnerable areas where water can do the most damage: eaves, valleys, dormers and skylights.



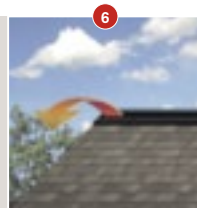
Help prevent damage from wind-driven rain by providing an additional layer of protection between the shingles and roof deck.



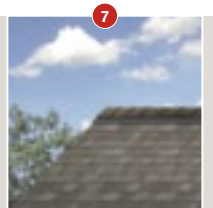
Enjoy clean lines and faster, easier installation by eliminating the need to cut shingle tabs.



Choose from a variety of durable styles and colors that provide the first line of defense against the elements.



Help protect your roof against premature failure by allowing heat and moisture to escape from the attic.



Help protect the ridge vent and add an attractive, finished look to your entire roof.



OWENS CORNING ROOFING AND ASPHALT, LLC
 ONE OWENS CORNING PARKWAY
 TOLEDO, OHIO, USA 43659
1-800-GET-PINK®
www.owenscorning.com/roofing



Pub. No. 10013980-E. Printed in U.S.A. May 2014. THE PINK PANTHER™ & © 1964–2014 Metro-Goldwyn-Mayer Studios Inc. All Rights Reserved. The color PINK is a registered trademark of Owens Corning. © 2014 Owens Corning. All Rights Reserved.

(Brookville, Kearny, Medina, Minneapolis, Summit)





TOYOTA

TACOMA

5FD393L







DeckSeal™

SA BASE/PLY FR (FIRE RESISTANT) FOR RESIDENTIAL LOW SLOPE



DeckSeal SA Base/Ply FR (Fire Resistant) membranes are premium, fire resistant self-adhered elastomeric base ply roofing products. These products are manufactured using a Dual Compound Self-Adhesive technology. DeckSeal membranes are built on a high performance reinforced fiberglass mat for excellent dimensional stability. The SBS polymer modified asphalt compound on the top layer is formulated for durability and performance. An aggressive self-adhesive compound is applied on the bottom layer for strong adhesion to the prescribed substrate layer and for application friendliness. DeckSeal SA Base/Ply FR membranes have a polyolefin film with laylines printed on the top surface for simplified measuring and a split release film on the bottom surface for ease of application.

Uses

DeckSeal SA Base/Ply FR is designed to be installed on roof slopes between ¼:12 and 2:12 and is to be applied directly to exterior grade of Plywood or OSB decking. Plywood must be minimum 15/32" and OSB must be minimum 7/16" (check local codes). DeckSeal SA Base/Ply FR is intended to act as a base or inter-ply layer for a multi-ply DeckSeal System. DeckSeal SA SBS Cap FR is intended to be installed over DeckSeal SA Base/Ply FR as the weatherable surface. Applications include new construction and re-roofing. Before installing, check local codes and refer to www.owenscorning.com/roofing for system details relevant to uplift or fire resistance requirements.

Features And Benefits

- Excellent long term adhesion and handling characteristics
- No need for kettles, spray rigs, adhesive machines or torches, resulting in a clean application that helps avoid fumes, odor and smoke complaints.
- Simple project staging and portability of roof components
- Ease of repair work
- System warranties available including limited warranty* against material defects for up to 20 years.

PRODUCT DATA

Roll size (Nominal)	200 sq ft
Weight (Approx)	84 lbs
Roll Size	65'8" x 39 3/8" (20m x 1m)
Rolls/Pallet	20



Product is shipped in boxes, 1 roll per box.

Applicable Standards and Codes

UL Classified for use in class A, B or C roofs, as listed the UL "Roofing Materials and Systems Directory"

TDI Listed for Usage in Texas Coastal Regions



Product Warranty*

Owens Corning Roofing and Asphalt DeckSeal products have a manufacturer's limited warranty* for up to 20 years when used as part of an approved, multi-ply roofing system.

Technical Description

METHOD	PROPERTY	VALUE**
ASTM D5147	Thickness, nominal, mil (mm)	80 (2.0)
ASTM D5147	Elongation @ 73.4+/-3.6°F (23+/-2°C), MD and XMD, min (%)	2
ASTM D5147	Tear Strength @ 73.4+/-3.6°F (23+/-2°C), MD, min, N (lbf)	35 (156)
ASTM D1970	Adhesion to Plywood @ 40°F, min, lbf/ft width	2.0
ASTM D1970	Adhesion to Plywood @ 75°F, min, lbf/ft width	12.0

Application Instructions

Do not use Owens Corning® DeckSeal SA Base/Ply FR in a torch down application

This product is to be used under Owens Corning® DeckSeal SA SBS Cap FR

Storage: Owens Corning® DeckSeal SA Base/Ply FR self-adhered membrane should be stored at room temperature whenever possible. Do not store out of the box for prolonged periods, or in temperatures above 90°F (32°C). Do not remove the roll from the box until it is to be installed

Precautionary Notes: Owens Corning recommends adherence to OSHA safety regulations. DeckSeal SA Base/Ply FR is designed to be installed on roof slopes between 1/4:12 and 2:12 and is to be applied directly to an exterior grade of Plywood or OSB when used as a base sheet in a 2 ply system, or Owens Corning® DeckSeal MA NailBase when used as the second ply in a 3 ply system.

Note: When installing DeckSeal SA Base/Ply FR, existing Plywood and/or OSB must be primed with either an asphaltic primer that meets ASTM D41 or a commercially available water-based acrylic primer. New plywood and DeckSeal MA NailBase do not need to be primed.

Note: Any primed substrate must be fully dry prior to installation. Refer to manufacturer's recommendations. Plywood must be minimum 15/32" and OSB minimum 7/16". Check local codes.

- Apply only when the weather is dry and the ambient temperature is 45°F (7°C) and rising. Do not install when water in any form (i.e. rain, dew, ice, frost, snow) exists. All roof deck application areas must have positive drainage, continuous support, and be structurally sound to support the dead load requirements of the roofing system.
- Apply only over clean, dry, dust-free surfaces.
- Ensure installation of DeckSeal SA SBS Base/Ply FR does not prevent or interfere with ventilation of the existing structure.
- Failure to follow manufacturer's application instructions may void product warranty.
- Plan the job so that the DeckSeal SA SBS Base/Ply FR is covered by the DeckSeal SA SBS Cap FR the same day.

Application

Step 1. Sweep the roof surface to remove any dust, dirt, or debris prior to starting installation.

Step 2. Cut the DeckSeal SA SBS Base/Ply FR to manageable lengths. Allow the cut sheets to relax prior to installation. Failure to allow the sheets to relax may result in wrinkles in the finished surface.

Step 3. Initiate starter course:

- For a 2 ply (layer) system- The starter course will always be 1/2 of the roll width
- For a 3 ply (layer) system- The starter course will always be 1/3 of the roll width. (Cutting on one of the 12" lay lines will leave approximately 1/3 of the roll width. If using SA Base/Ply as a second layer of a 3 ply system, the starter course for that layer will be 2/3 of the roll width.
- The side lap seams of any 2 or 3 ply system layer should always be offset from the other layers.

Step 4. There are several ways to remove the release liner from the DeckSeal SA Base/Ply FR. One method is as follows: Lay the material flat on the roof aligned with the eaves edge at the lowest point on the roof.

Step 5. Fold the aligned sheet back half way exposing the release liner.

Step 6. Peel release film at a 45° angle in a constant motion, while firmly holding the half of the sheet that is in contact with the roof in place as the liner is removed.

Step 7. Use hand or foot pressure to bond that portion of the sheet to the deck.

If the split release liner remains on the opposite half of the sheet, flip the opposite half back and remove the remaining release liner. Use hand or foot pressure to bond that portion of the sheet to the deck.

Step 8. If additional pieces are needed to complete the starter course the end lap to be overlapped must be cut at 45° angles on the top and bottom corners.

- The top corner on the piece that is overlapping the previous piece must also be cut on the top corner at a 45° angle.
- The overlap is to be 6 inches. Remove the release liner and adhere as with the previous sheet.

Step 9. Roll side laps and end laps firmly with a hand roller to ensure full adhesion.

- If necessary, hot air weld or apply modified asphalt flashing cement at 45° cuts or at end lap seams.

Step 10. As each course is completed, roll the course with an 80 pound roller. Start at the center and work outward to remove trapped air.

Step 11. When the eaves edge sections are completed, position the next course by overlapping the starter course by 3 to 4 inches.

When installing each subsequent course stagger the end laps by 36" between courses.

Step 12. One method to remove the release liner from a full sheet of DeckSeal SA Base/Ply FR is as follows:

1. Position the sheet on the 3 inch or 4 inch overlap lay line and roll the bottom of the sheet half way back to expose the split release liner.
2. Peel release film at a 45° angle in a constant motion, while firmly holding the half of the sheet that is in contact with the roof in place as the liner is removed.
3. When the release film has been removed, carefully roll the sheet back down and press into place.
4. Roll the opposite half of the sheet back and remove the release liner using the same method as in step "b".
5. Roll the sheet back down and press firmly into place.

Step 13. If additional pieces are needed to complete the course, the end lap corners are to be cut at a 45° angle as in was done in Step 9. The overlaps are to be 6".

Step 14. When the SA Base/Ply FR courses are complete roll the entire surface with an 80 pound roller.

Edge Metal Install

For 2 ply systems, the edge metal is installed directly over the base sheet. For a 3 ply system, the edge metal is installed over the second ply (layer).

1. The edge metal must be a minimum 24 gauge galvanized steel or 0.040 inch formed aluminum, primed with either an asphaltic primer that meets ASTM D41 or a commercially available water-based acrylic primer.
2. The roof flange of the edge metal should be 3 or 4 inches wide.
3. Primed edge metal must be dry to the touch before membrane application.
4. Install the roof flange of the edge metal over the base sheet at the lowest point on the roof. Nail the edge metal 4" on center in a staggered pattern.

Install a minimum 8" wide strip of self-adhered DeckSeal SA Base/Ply FR over the edge metal leaving ½" of edge metal exposed.

* See actual warranty for complete details, limitations and requirements.

** Unless specified, represent minimum values as manufactured.

 **OWENS CORNING SALES, LLC**
ONE OWENS CORNING PARKWAY
TOLEDO, OH 43659 USA
1-800-GET-PINK®
www.owenscorning.com

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(Compton, Portland, Denver, Kearny, Medina, Minneapolis, Summit, Brookville)



DeckSeal™

SA SBS CAP FR (Fire Resistant) FOR RESIDENTIAL LOW SLOPE



DeckSeal SA SBS Cap FR (Fire Resistant) membranes are premium, fire-resistance classified, self-adhering elastomeric roofing products, manufactured using Dual Compound Self-Adhesive technology. DeckSeal membranes are built with a high performance reinforced polyester mat for dimensional stability. The SBS polymer modified asphalt compound on the top layer is formulated for excellent granule adhesion. An aggressive self-adhesive compound is applied on the bottom layer for strong adhesion to the DeckSeal base and ply sheets. DeckSeal SA SBS FR membranes are finished with granules on the top surface and features granule free side laps and end laps for ease of application and excellent seam sealability.

Uses

DeckSeal SA SBS Cap FR is designed to be installed on roof slopes between ¼:12 and 2:12 and is to be applied to exterior grade Plywood or OSB decking. Plywood must be minimum 15/32" and OSB must be minimum 7/16" (check local codes). DeckSeal SA SBS Cap FR is intended to be installed as part of a multi-ply DeckSeal System, applied directly to Owens Corning® DeckSeal MA NailBase or to Owens Corning® DeckSeal SA Base/Ply FR. Before installing, check local codes and refer to www.owenscorning.com/roofing for system details relevant to uplift or fire resistance requirements.

Features and Benefits

- Exceptional handling characteristics
- UV stabilized long lasting granule surfacing in a variety of attractive colors
- No need for kettles, spray rigs, adhesive machines or torches, resulting in a clean application that helps avoid fumes, odor and smoke complaints.
- Sealing at seams upon proper application
- Simple project staging and portability of roof components
- Ease of repair work
- System warranties available including limited warranty* against material defects for up to 20 years.

Product Data

Roll size (Nominal)	100 sq ft
Weight (Approx)	89 lbs
Roll Size	32'10" x 39 3/8" (10m x 1m)
Rolls/Pallet	20



Applicable Standards and Codes

UL Classified for use in class A, B or C roofs, as listed the UL "Roofing Materials and Systems Directory"

TDI Listed for Usage in Texas Coastal Regions

Product Warranty*

Owens Corning Roofing and Asphalt DeckSeal products have a manufacturer's limited warranty* for up to 20 years when used as part of an approved, multi-ply roofing system.

Technical Description

METHOD	PROPERTY	VALUE**
ASTM D5147	Thickness, typical, mils (mm)	130 (3.3)
ASTM D5147	Elongation @ 73.4+/-3.6°F (23+/-2°C), MD and XMD, min (%)	35
ASTM D5147	Tear Strength @ 73.4+/-3.6°F (23+/-2°C), MD, min, N (lbf)	55 (246)
ASTM D1970	Adhesion to Plywood @ 40°F, min, lbf/ft width	2.0
ASTM D1970	Adhesion to Plywood @ 75°F, min, lbf/ft width	12.0



Product is shipped in boxes, 1 roll per box.

Application Instructions

This product is not to be used in a torch down application.

Owens Corning® DeckSeal Low Slope products should be installed by a professional roofing contractor.

Storage: Owens Corning® DeckSeal SA SBS Cap FR should be stored at room temperature whenever possible. Do not store out of the box for prolonged periods, or in temperatures above 90°F (32°C). Do not remove the roll from the box until it is to be installed.

Precautionary Notes: Owens Corning recommends adherence to OSHA safety regulations.

- Apply only when the weather is dry and the ambient temperature is 45°F (7°C) and rising. Do not install when water in any form (i.e. rain, dew, ice, frost, snow) exists.
- All roof deck application areas must have positive drainage, continuous support, be structurally sound to support the dead load requirements of the roofing system.
- Apply only over clean, dry, dust-free surfaces.
- Ensure installation of DeckSeal SA SBS Cap FR does not prevent or interfere with ventilation of the existing structure.

Failure to follow manufacturer's application instructions may void product warranty.

Application: Sweep the roof surface to remove any dust, dirt, or debris prior to starting installation.

- Cut the DeckSeal SA SBS CAP FR to manageable lengths. Allow the cut sheets to relax prior to installation. Failure to allow the sheets to relax may result in wrinkles in the finished surface.
- The DeckSeal SA SBS CAP FR has a release film covering the selvage edge. The cap sheet should be installed with the selvage edge away from the eaves edge.
- The DeckSeal SA SBS CAP FR starter course is always installed full width.
- Lay the material flat on the roof aligned with the eaves edge at the lowest point on the roof.
- One method to remove the release liner from sheet of DeckSeal SA SBS CAP FR is as follows:
 - Fold the aligned sheet back half way, exposing the split release liner.
 - Remove release liner at a 45° angle in a constant motion, while firmly holding the half of the sheet that is in contact with the roof in place as the liner is removed.
 - Remove the release liner and slowly roll the sheet back into place, pressing firmly as you go.
 - Then roll the opposite half of the sheet back and remove the release liner using the same method as above.
- If additional pieces are needed to complete the starter course, the end of the sheet to be overlapped must be cut at 45° angles on the top and bottom corners. The top corner on the piece that is overlapping the previous piece must also be cut on the top corner at a 45° angle.

- The overlap is to be 6 inches. Remove the release liner and adhere as with the previous sheet.
- Remove the side lap selvage edge release film on the area to be overlapped.
- Do not remove the remaining release film covering the side lap selvage edge at this time.
- The end of each roll of DeckSeal SA SBS Cap FR has a factory end lap selvage edge covered with a release film. Remove the end lap release film and press the overlapping sheet into place.
- If necessary, especially during cool weather, hot air weld or apply modified asphalt flashing cement at all end lap seams and T-joints.
- Where there is no factory salvage edge for end laps, the following methods can be used.

Hot Air Welding

- The area between the granular surface and self-adhesive backing can be heated with a hot air welding tool and rolled with a hand roller. This will ensure a water tight seal to the end laps.

Modified Roof Cement

- In lieu of hot air welding, the top layer can be set in a thin layer of modified asphalt flashing cement that is at least 6" wide and approximately 1/8 inch thick. Take care to prevent roof cement from oozing onto exposed area. If this should occur, sprinkle loose granules on the exposed asphalt immediately.
- End laps must be 6" minimum and fully adhered.
- Press each sheet into place with firm, even pressure.
- Roll edges and all lap seams firmly with a hand roller to ensure full adhesion. After each course is completed roll the course with an 80 pound roller. Start at the center and work outward to remove trapped air.
- For the succeeding course, position the next sheet by completely overlapping the selvage edge of the previous sheet.
- Be sure to offset end laps on each subsequent course minimum 36 inches.
- Only remove enough of the selvage edge release film on the preceding roll to complete each section of the install. Removing more film than is necessary may cause the exposed adhesive to stick to the release liner of subsequent sheets during alignment.
- Remove release liner on succeeding course as previously described.
- After adhering rolls it is required that uniform pressure be applied to the entire deck area using a 80 pound linoleum roller. Care must be taken to prevent injury when rolling especially on sloped surfaces.



OWENS CORNING ROOFING AND ASPHALT, LLC
ONE OWENS CORNING PARKWAY
TOLEDO, OHIO, USA 43659
1-800-GET-PINK®
www.owenscorning.com/roofing

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(Compton, Portland, Denver, Kearny, Medina, Minneapolis, Summit, Brookville)

* See actual warranty for complete details, limitations and requirements.

** Unless specified, represent minimum values as manufactured.

SPENCER: PARTIAL ROOF REPLACEMENT

FEB 12, 2026

Project #56018616075

MARASUN
roofing | siding | windows | gutters | solar



PETE SPENCER

[REDACTED]
213 Davis Ave
Easton, MD
21601



We can help you with

Roofing & Gutters
913 S. Talbot Street St. Michaels, MD 21663

INTRODUCTION

Hi Pete,

Thank you for allowing MARASUN the opportunity to provide this quote.

This proposal is for the following: **Partial Low Slope Roof Replacement**

We are proposing the following:

- Remove existing architectural shingles and install Owens Corning Deck Seal which is a low slope roof finish solution
- Remove and replace all plywood decking on the low slope roof area as most of the roof decking is rotted and falling apart
- Remove and replace wood fascia and aluminum fascia wrap as the wood fascia is rotted and falling apart
- Remove and reattach the new gutter.

This proposed work will require the acquisition of a building permit.

If you have any questions, please give me a call. We always want to provide the best value to our clients. If we are outside your budget, please let me know and we will do our best to work within that.

Kind regards,

Mike Brock
MARASUN

PROPOSED SOLUTION



This is our proposed work area for your partial roof replacement

The area outlined in yellow is the entire roof area that we will be replacing.

We will have to replace a row or two of shingles on the transition to the higher pitched roof in order to properly flash the new low slope deck seal roof fini

We will remove and replace all plywood on this roof slope as it is rotted.



This is our proposed area for replacing the wood subfascia and the aluminum fascia wrap. That area is represented with the orange line.

We will also remove and re-attach the gutter that was temporarily installed there.



Here is the rotted underside of the decking and the rotted wood fascia.

We are unsure of the state rafters below the plywood decking...if repairs will need to be made for this we will have to charge those materials and labor in a change order at the end of the project.



This is the area of the fascia in which we will be replacing.

ARCHITECTURAL ROOFING SYSTEM

Description	Qty
SBS ROLLED ASPHALT ROOFING MATERIALS (Low-Slope Roof Installation)	
OC DECKSEAL SA BASE - 2 SQ ROLL	1
OC DECKSEAL SA SBS CAP - 1 SQ ROLL	2
1-1/4" RING SHANK ROUND METAL CAP NAILS - 50 LB BOX	.5
Approx. 5000 per box	
MARASUN COMPOUND: 1 1/4" COIL NAILS:	.25
Electro galvanized nails used to fasten down the roofing system	
GAF TIMBERLINE HDZ WITH STAINGUARD PLUS:	1
One of our best shingles with LayerLock® technology, Limited Lifetime Warranty and the StainGuard Plus™ algae protection limited warranty.	
OWENS CORNING RHINOROOF GRANULATED ICE AND WATERSHIELD 1.95 SQ	.2
Protects a roof from the damaging effects of water intrusion due to wind-driven rain and ice dams because fully adhered roofing underlayment sticks aggressively to the deck surface and forms a watertight seal around fasteners used to install shingles and other roof materials.	
FLAT ROOF ACCESSORIES (Low-Slope Roof Installation)	
1/2" CDX PLYWOOD SHEET:	5
Covers the material cost of Exterior Grade CDX Plywood 4'x8' Sheet. material is used for property protection and rotted decking if necessary	
DRIP EDGE - TRI ODE 2":	3
Metal flashing that protects the eaves of your home and prevents rain from going behind the gutters and/or fascia potentially causing damage.	
MARASUN COMPOUND 80 POUND ROLLER	1
Berger Building Products .019" x 6" x 12' Painted Aluminum Fascia Low Gloss White	2
Item #:29694 Product #: BBPFA96WA Manufacturer #: FA96WA	
TRIM NAILS 1LB BOX:	1
1 X 6 X 12 SQUARE EDGE COMMON BOARD:	2
Used to replace rotten decking to ensure that substrate is ready to receive the new roof products.	
FLAT ROOF LABOR (Low-Slope Roof Installation)	
OC DECKSEAL INSTALLATION LABOR - 2 Ply	2

PLYWOOD DECKING INSTALL:	5
Covers the cost of time and labor to install plywood and use plywood as property protection.	
SMALL ROOF CHARGE	1
Labor for small roofs	
FASCIA INSTALLATION LABOR: covers the time and labor associated to install custom bent and pre bent fascia.	21
LABOR DIMENSIONAL LUMBER INSTALLATION: cover the installation of 2x4, 2x6, 1x6 and 1x10 dimensional boards	21
GUTTER REMOVAL AND RE-INSTALLATION:	21
We will remove the current gutters that are attached to the fascia and reinstall them once the fascia	
WARRANTY (Low-Slope Roof Installation)	
MARASUN WORKMANSHIP WARRANTY	1
Marasun offers a 2 year workmanship warranty on flat roof installations.	
ROOFING SERVICES (Low-Slope Roof Installation)	
WASTE DISPOSAL FEE:	2
Dump fees for waste disposal.	
CATCH-ALL SYSTEM:	1
To protect the home from roofing debris and property damage during roof replacement.	
EQUIPTER TRASH MANAGEMENT - DAY:	1
Increases production speed and safety and helps our customers receive roofing services faster and more efficiently. self-propelled, raisable trailer takes the hassle out of debris management	
Town of Easton: Building Permit	1

Quote subtotal ██████████
Total ██████████



TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #:	2026 - 1656
Date Received:	02/25/2026
Fee Paid:	\$75.00
HDC Meeting Date:	03/09/2026
Date Property Posted:	-

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 213 DAVIS AVE, EASTON MD 21601

Contributing Non-Contributing YEAR BUILT: 1910 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: PETER SPENCER

TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent

NAME: MIKE BROCK / MARASUN

TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Description of Proposal (include additional sheets, as necessary)

• REMOVAL OF EXISTING ARCHITECTURAL SHINGLES ON SIDE LOW SLOPE PORCH. REPLACEMENT WILL BE OWENS CORNING "DECK SEAL" LOW SLOPE ASPHALT PRODUCT FOR THIS VERY APPLICATION

• REMOVING AND REPLACING ALUMINUM FASCIA, REMOVING AND REINSTALLING GUTTER (EXISTING) WHITE ↑

Specific Requirements

- The payment of fees is due at the time of application submittal. As of December 27, 2022, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent
Date
Printed Name of Applicant or Agent

[Signature]
2/24/26
MIKE BROCK



RECEIVED

HD 26 - 20

FEB 26 2026

TOWN OF EASTON
PLANNING AND ZONING TOWN OF EASTON
14 SOUTH HARRISON STREET, EASTON, MD 21601

Table with application details: Application #: 2026 - 1658, Date Received: 02/26/2026, Fee Paid: \$200.00, HDC Meeting Date: 03/09/2026, Date Property Posted: -

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE (PLEASE CIRCLE)

- ROOFING (circled), DEMOLITION, SIGNAGE, FENCING, OTHER, NEW CONSTRUCTION/ADDITION, EXTERIOR ALTERATIONS, FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 106 N. Washington St. Easton, Md. 21601
Contributing/Non-Contributing checkboxes, YEAR BUILT: 1973, NATIONAL REGISTAR #

PROPERTY INFORMATION

OWNER NAME: Kaufmann Enterprises LLC / David Kaufmann
TELEPHONE NO. [Redacted] EMAIL [Redacted]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME: David Kaufmann
TELEPHONE NO. [Redacted] EMAIL [Redacted]

Description of Proposal (include additional sheets, as necessary)

Remove existing Roof with New TPO Roof. All work to meet Easton Town Codes.

Specific Requirements

- The payment of fees is due at the time of application submittal. As of July 1, 2025, the fees are as follows: Commercial - \$200, Residential - \$75, Signs - \$75, Staff Approval \$25
Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

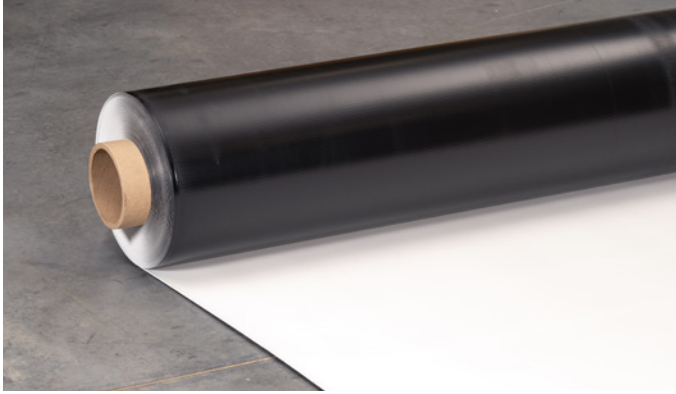
I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: [Signature]
Date: 2/23/2026
Printed Name of Applicant or Agent: David Kaufmann

Revised 4.4.2022

Sure-Weld[®] TPO

Reinforced Membrane



Overview

Carlisle's Sure-Weld TPO reinforced membrane is a premium, heat-weldable, single-ply thermoplastic polyolefin (TPO) sheet designed for new roof construction and re-roofing applications. Sure-Weld High Slope (HS) membrane is formulated with additional flame retardant for higher-slope fire code approvals. Sure-Weld Extra is 80 mils (2.03 mm) thick for significantly higher strength and weatherability.

Sure-Weld TPO membranes use advanced polymerization technology that combines the flexibility of ethylene-propylene (EP) rubber with the heat weldability of polypropylene. All Sure-Weld TPO membranes include OctaGuard XT™, an industry-leading, state-of-the-art weathering package. OctaGuard XT technology enables Sure-Weld TPO to withstand the extreme weatherability testing that is intended to simulate exposure to severe climates.

Physical properties of the membrane are enhanced by a strong polyester fabric that is encapsulated between the TPO-based top and bottom plies. The combination of the fabric and TPO plies provides high breaking and tearing strength, as well as excellent puncture resistance. The relatively smooth surface of the membrane produces a total surface fusion weld that results in a consistent, watertight, monolithic roof assembly. The membrane is environmentally friendly and safe to install.

Features and Benefits

- » Living Building Challenge "Red List Free" – Declare Label
- » Sure-Weld TPO is available in 4- and 6-ft (121.92 cm and 182.88 cm) perimeter sheets and 8-, 10-, 12-, and 16-ft (243.84 cm, 304.80 cm, 365.76 cm, and 487.68 cm) Sure-Weld field sheets*
- » Outstanding puncture resistance and excellent fire resistant assemblies
- » Environmentally friendly and stable formulation
- » Excellent resistance to impact and low temperatures
- » UL 2218 Class 4 hail rating
- » Manufactured with non-halogenated flame retardants

- » Excellent chemical resistance to acids, bases and restaurant exhaust emissions
- » Exceptional resistance to heat, solar UV, ozone and oxidation
- » Manufactured using a hot-melt extrusion process for complete scrim encapsulation
- » Enhanced with the OctaGuard XT weathering package
- » Standard Colors:



White Gray Tan

- » Special Colors:



Slate Gray Med Bronze Terra Cotta Patina Green Rock Brown

*Sure-Weld HS Special Color TPO membranes are available in limited sizes. Refer to Carlisle's Sure-Weld TPO Color Palette Sell Sheet for details. Sure-Weld 80-mil in special colors are limited to warranties up to 20 years.



Sustainable Attributes

Carlisle SynTec Systems' focus has always been innovation — Innovation to solve problems, improve performance, reduce labor, and above all, improve sustainability. Carlisle is committed to driving sustainable and efficient processes in the design and manufacturing of our products.

- » Up to 10% pre-consumer recycled content
- » Fully recyclable when used in mechanically attached systems
- » 3rd-party verified Environmental Product Declaration available
- » NSF P151 certification for rainwater catchment**
- » California Title 24 compliant***
- » Free of Living Building Challenge red list chemicals

**White only, produced in Tooele, UT and Carlisle, PA

***White and Tan only

Installation

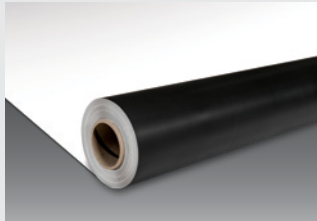
Sure-Weld TPO roofing systems are quick to install, as minimal labor and few components are required. TPO systems are installed using an Automatic Heat Welder, making sheet welding fast, clean, consistent, and easy to learn, while reducing strain on the roofing technician.

Sure-Weld TPO

Reinforced Membrane

Wider is Better

Carlisle's 16-foot Sure-Weld TPO delivers a leap in productivity on adhered and induction welded roofs by cutting down on the number of rolls needed and dramatically reducing the number of seams on the roof.



With fewer rolls to load, stage, and kick out, and fewer seams to weld, contractors can save significant time on each project, moving on to the next one sooner.

16-Foot TPO Benefits

- » Fewer rolls to load and stage on a job saves crane time and labor at the beginning of each project
- » Fewer rolls to position, kick-out, and align during installation saves labor
- » Up to 60% fewer seams vs. 10-foot TPO
- » Fewer seams to weld, probe, and inspect, saving considerable time during installation
- » Fewer T-joint patches to install on each roof
- » Less waste and trash from packaging
- » Less time spent on each project, allowing contractors to complete more roofs and grow their business

Fully-Adhered – membrane is adhered to a suitable substrate utilizing an appropriate bonding adhesive

Mechanically Fastened – membrane is attached to the roof deck over a suitable substrate utilizing plates and fasteners which are overlapped with membrane

Induction-Welded – membrane is attached over a suitable substrate via an induction welding tool being placed over the membrane where a fastened TPO induction welding plate is located to weld the two components together

Review Carlisle specifications and details for complete installation information.

Precautions

- » Sunglasses that filter out ultraviolet light are strongly recommended, as tan and white surfaces are highly reflective. Roofing technicians should dress appropriately and wear sunscreen.
- » Surfaces may become slippery due to frost and ice buildup. Exercise caution during cold conditions to prevent falls. Exercise caution when walking on wet membrane. Membranes may be slippery when wet.
- » Care must be exercised when working close to a roof edge when the surrounding area is snow-covered, as the roof edge may not be clearly visible.
- » Use proper stacking procedures to ensure sufficient stability of the rolls.
- » Store membrane in the original undisturbed plastic wrap in a cool, shaded area and cover with light-colored, breathable, waterproof tarpaulins. Membrane that has been exposed to the weather must be prepared with Weathered Membrane Cleaner prior to hot-air welding.
- » Take care not to stand or place heavy objects on the edge of folded-over membrane, as this could cause a hard crease in the membrane.
- » Maximum sustained temperature not to exceed 160°F (71°C) for TPO membrane.
- » Do not use razor blades or other sharp tools to cut the APEEL Protective Film while it is still adhered to the TPO membrane as damage to the underlying membrane may occur. Pull the protective film away from the membrane prior to cutting.
- » Remove APEEL Protective Film by pulling towards the center of the roof. Do not remove the film by pulling towards the roof edge.
- » A static electric charge may develop when removing APEEL Protective Film from the surface of the membrane sheet. To avoid the possibility of ignition, lids must be closed on any flammable products and a fire extinguisher should be readily available.
- » Color membranes will 'fade' over time mainly due to the ultraviolet portion of sunlight. Since most roof surfaces are exposed to variable sunlight, some areas will be more susceptible to color changes caused by UV fading. Warranties for color membranes do not cover fading of colors.

Extreme Testing for Severe Climates

ASTM Standard D6878 is the material specification for Thermoplastic Polyolefin-Based Sheet Roofing. It covers material property requirements for TPO roof sheeting and includes initial and aged properties after heat and xenon-arc exposure. As stated in the scope of the standard, "the tests and property limits used to characterize the sheet are values intended to ensure minimum quality for the intended purpose." Carlisle's goal is to produce TPO that delivers maximum performance for the intended purpose of roofing membranes. Maximum performance requires the membrane to far exceed the requirements of ASTM D6878.

Heat Aging accelerates the oxidation rate that roughly doubles for each 18°F (10°C) increase in roof membrane temperature. Oxidation (reaction with oxygen) is one of the primary chemical degradation mechanisms of roofing materials.

Carlisle Testing – Heat Aging		
	ASTM Requirement	Sure-Weld Requirement
ASTM TEST 240°F	32 weeks**	>128 weeks

**Heat exposure comparable to 3,120 weeks (60 years) at 185°F for 8 hours/day.

- » Test specimen is a 2" by 6" (50.8 mm by 152.4 mm) piece of 45-mil (1.14 mm) membrane unbacked, placed in circulating hot-air oven.
- » Criterion – no visible cracks after bending aged test specimen around 3" (76.2 mm)-diameter mandrel.

Q-Trac testing combines accelerated weathering with real-world conditions using an array of ten mirrors to reflect and concentrate full spectrum sunlight onto membrane test specimens. The Q-Trac device automatically tracks the sun's path from morning to night. Also, it adjusts to compensate for seasonal changes in the sun's altitude. Eight years in Q-Trac testing is equal to 40 years of real-world exposure. Carlisle requires its Sure-Weld TPO membranes to pass the equivalent of 40 years of exposure in the Q-Trac.

Carlisle Testing – Q-Trac		
	ASTM D6878 Requirement	Sure-Weld Requirement
ASTM TEST N/A	N/A	Equivalent of 40 years of exposure

Environmental Cycling subjects the membrane to repeated cycles of heat aging, hot-water immersion, and xenon-arc exposure.

- » ASTM requirement – none
- » Carlisle Extreme test*:
 - 10 days heat aging at 240°F (116°C) followed by
 - 5 days water immersion at 158°F (70°C) followed by
 - 5,040 kJ/m² (2000 hours at 0.70 W/m² irradiance) xenon-arc exposure

*Test specimen is 2.75" (69.85 mm by 140 mm) by 5.5" piece of membrane with edges sealed.

*Criterion – after 3 complete cycles, test specimens shall remain flexible and not have any cracking under 10x magnification while wrapped around a 3" (76.2 mm)-diameter mandrel.

Supplemental Approvals, Statements and Characteristics:

1. Sure-Weld TPO meets or exceeds the requirements of ASTM D6878 Standard Specification for Thermoplastic Polyolefin-Based Sheet Roofing.
2. Sure-Weld TPO membranes conform to requirements of the US E.P.A. Toxic Leachate Test (40 CFR part 136) performed by an independent analytical laboratory.
3. Sure-Weld TPO was tested for dynamic puncture resistance per ASTM D5635-04 using the most recently modified impact head. 45-mil (1.14 mm) was watertight after an impact energy of 12.5 J (9.2 ft-lbf) and 60-mil (1.52 mm) was watertight after 22.5 J (16.6 ft-lbf). 80-mil (2.03 mm) Extra was watertight after an impact energy of 30.0 J (22.1 ft-lbf).
4. All FM approved assemblies have been tested to pass FM 4470 for foot traffic resistance.

Optional APEEL™ Protective Film

Shield Carlisle's Sure-Weld TPO membrane from dirt and scuffs during installation with APEEL Protective Film. Factory-applied and easy to remove, APEEL eliminates the need for rooftop cleaning upon project completion.



- » Ideal for re-roofing, re-cover, and new construction projects
- » Simple and easy to remove
- » Saves time and money when compared to pressure washing
- » Protecting from dirt maintains maximum membrane reflectivity and long-term performance

Installation

Simply order membrane with APEEL, install, and remove the film to reveal a clean, new roof.

- » APEEL Protective Film should be removed from within areas that are to be heat-welded together. In areas that do not require heat-welding, the APEEL Protective Film can be left in place for up to 90 days without degrading due to its excellent heat- and UV-resistance.
- » When the installation of the entire TPO roofing system is complete, remove and discard the APEEL Protective Film.

Sure-Weld TPO

Reinforced Membrane

Typical Properties and Characteristics

Physical Property	ASTM D6878 Requirement	45-mil (1.14 mm)	60-mil (1.52 mm)	80-mil Extra (2.03 mm)
Tolerance on Nominal Thickness, % ASTM D751 test method	+15, -10	± 10	± 10	± 10
Thickness Over Scrim, in. (mm) ASTM D7635 optical method, average of 3 areas	0.015 min (0.380)	0.018 typical (0.457)	0.024 typical (0.610)	0.034 typical (0.864)
Breaking Strength, lbf (kN) ASTM D751 grab method	220 (976 N) min	225 (1.0) min 320 (1.4) typical	250 (1.1) min 360 (1.6) typical	350 (1.6) min 425 (1.9) typical
Elongation Break of Reinforcement, % ASTM D751 grab method	15 min	15 min 25 typical	15 min 25 typical	15 min 25 typical
Tearing Strength, lbf (N) ASTM D751 proc. B 8 in. x 8 in.	55 (245) min	55 (245) min 130 (578) typical	55 (245) min 130 (578) typical	55 (245) min 130 (578) typical
Brittleness Point, °F (°C) ASTM D2137	-40 (-40) max	-40 (-40) max -50 (-46) typical	-40 (-40) max -50 (-46) typical	-40 (-40) max -50 (-46) typical
Linear Dimensional Change, % ASTM D1204, 6 hours at 158°F	± 1 max	± 1 max -0.2 typical	± 1 max -0.2 typical	± 1 max -0.2 typical
Ozone Resistance, no cracks 7X ASTM D1149, 100 ppm, 168 hrs	PASS	PASS	PASS	PASS
UV Exposure (Xenon Arc), no cracks 7X ASTM G155, min. exposure 10,080 kJ/m ² (4,000 hrs - 0.70 W/m ²)	PASS	PASS	PASS	PASS
Water Absorption Resistance, mass % ASTM D471 top surface only 166 hours at 158°F water	± 3.0 max	± 3.0 max 0.90 typical	± 3.0 max 0.90 typical	± 3.0 max 0.90 typical
Factory Seam Strength, lbf (N) ASTM D751 grab method	66 (290) min	66 (290) min	66 (290) min	66 (290) min
Field Seam Strength, lbf/in (kN/m) ASTM D1876 tested in peel	No requirement	25 (4.4) min 50 (8.8) typical	25 (4.4) min 60 (10.5) typical	40 (7.0) min 70 (12.3) typical
Water Vapor Permeance, perms ASTM E96 proc. B	No requirement	0.10 max 0.05 typical	0.10 max 0.05 typical	0.10 max 0.05 typical
Puncture Resistance, lbf (kN) FTM 101C, method 2031 (see supplemental section)	No requirement	250 (1.1) min 325 (1.4) typical	300 (1.3) min 350 (1.6) typical	400 (1.8) min 450 (2.0) typical
Properties After Heat Aging ASTM D573, 32 weeks @ 240°F or 8 weeks @ 275°F No cracking when bent around 3" diameter mandrel Weight Change, %	PASS No cracking ± 1.5 max	PASS No cracking 1.0 max	PASS No cracking 1.0 max	PASS No cracking 1.0 max
Typical Weights lb/ft² (kg/m²)		0.25 (1.22)	.33 (1.61)	.45 (2.20)
Air Permeance, ASTM E2178	No Requirement	PASS	PASS	PASS

Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.



Green Building Information

Pre-Consumer Recycled Content	10%
Post-Consumer Recycled Content	0%
Solar Reflectance Index (SRI)	White – 99 Tan – 86 Gray – 52
Global Warming Potential (GWP)	TPO 45 mils 2.90E+00 TPO 60 mils 3.77E+00 TPO 80 mils 5.28E+00
Volatile Organic Compounds (VOC) Content	N/A
Manufacturing Location(s)	Senatobia, MS Tooele, UT Carlisle, PA
Corporate Sustainability Report (CSR) Availability	Yes
Environmental Product Declaration (EPD) Availability	

Radiative Properties for Cool Roof Rating Council (CRRC) and LEED

	Test Method	White TPO	Tan TPO	Gray TPO
CRRC – Initial solar reflectance	ASTM C1549	0.79	0.71	0.46
CRRC – Solar reflectance after 3 years	ASTM C1549 (uncleaned)	0.70	0.64	0.43
CRRC – Initial thermal emittance	ASTM C1371	0.90	0.86	0.89
CRRC – Thermal emittance after 3 years	ASTM C1371 (uncleaned)	0.86	0.87	0.88
LEED – Thermal emittance	ASTM E408	0.90	0.86	0.85
SRI – Initial (Solar Reflectance Index)	ASTM E1980	99	86	52
SRI – 3 year aged (Solar Reflectance Index)		85	77	49

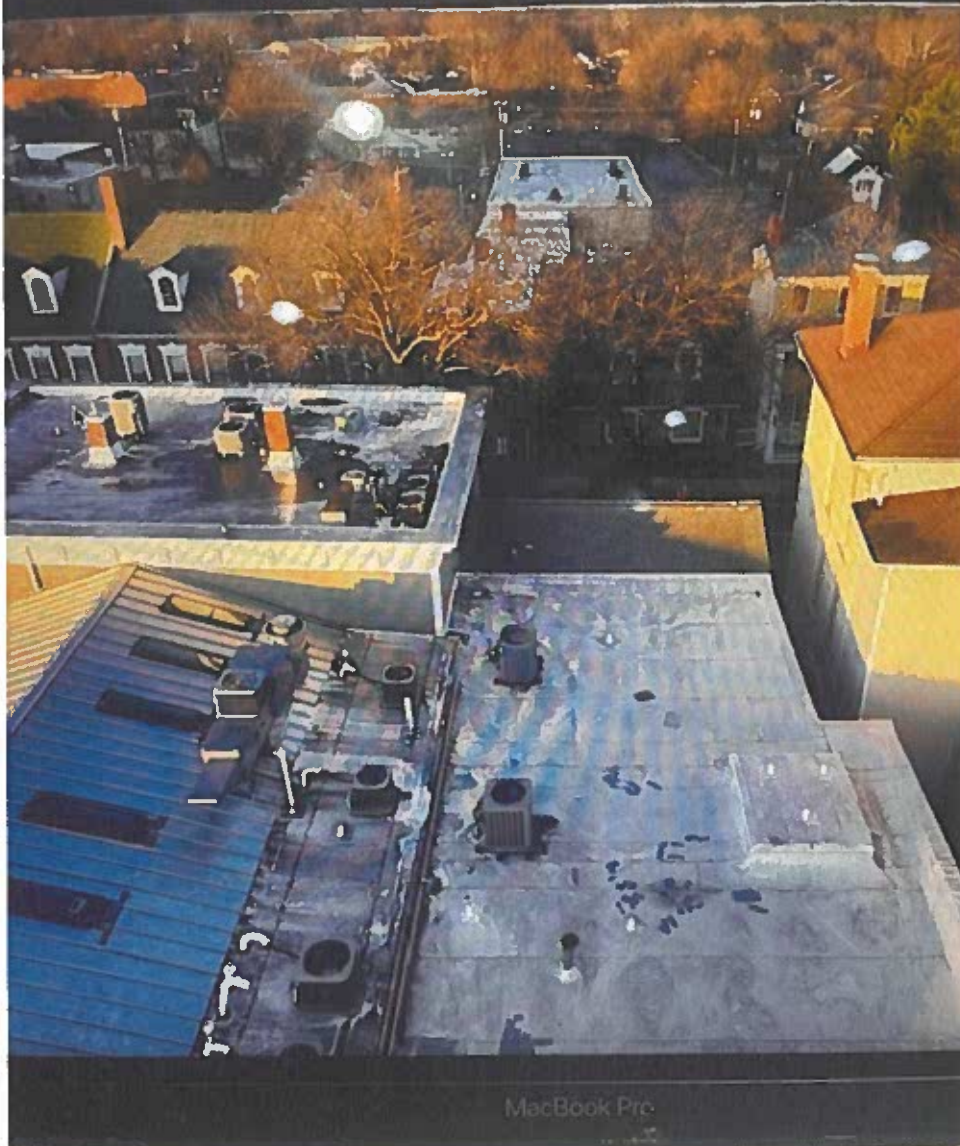
Radiative Properties (Initial) for Special Colors

	Reflectance	Emittance	SRI
Medium Bronze	0.12	0.89	8
Rock Brown	0.23	0.88	23
Slate Gray	0.20	0.89	18
Terra Cotta	0.25	0.88	24
Patina Green	0.25	0.88	25

Solar Reflectance Index (SRI) is calculated per ASTM E1980. The SRI is a measure of the roof's ability to reject solar heat, as shown by a small temperature rise. It is defined so that a standard black (reflectance 0.05, emittance 0.90) is 0 and a standard white (reflectance 0.80, emittance 0.90) is 100. Materials with the highest SRI values are the coolest choices for roofing. Due to the way SRI is defined, particularly hot materials can even take slightly negative values and particularly cool materials can even exceed 100.



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MacBook Pro

