



Historic District Commission MEETING AGENDA

Monday, March 23, 2026 - 6:00 PM
Council Chambers, Easton Town Office
14 S Harrison Street

Call to Order

- 1) Approval of the Agenda for March 23, 2026.

Old Business

- 1) **Application Number:** 2024 - 1172 / HD 24 - 41
Applicant: John Hutchison Architecture & GRT Architects
on behalf of Academy Art Museum.
Location: 106, 108 & 110 Talbot Lane (Academy Art Museum)
Tax Map 0104, Grid 00EA, Parcels 1948, 1949 & 1950
Zoning District: R-7A
Historic Status: Contributing
Request: Amendment to previously approved exterior alterations for the restoration of the structure located at 106 Talbot Lane, and the construction of a 3,640 sq ft addition.

On September 24, 2024 the Town of Easton Planning Commission granted sketch site plan approval for this project (2024 - 1264).
- 2) **Application Number:** 2025 - 1580 / HD 25 - 103
Applicant: Bluepoint Hospitality Group
Location: 113 N. Washington Street
Tax Map 0104, Grid 00EA, Parcel 0628, Lot 1
Zoning District: CB
Historic Status: Contributing
Request: Amendment to a previously approved Certificate of Appropriateness (COA) for the in-kind replacement of sections of

brick masonry, and the repair and in-kind replacement of the existing stone lintels and wood sills.

On October 27, 2025, the Commission granted a COA for the in-kind replacement of six (6) double hung, six-over-six wooden windows on the second and third floors of the front facing facade, and the placement of a second-floor window on a non-visible side façade.

New Business

- 1) Application Number:** 2026 - 1661 / HD 26 - 22
Applicant: 112 Park Street LLC
Location: 112 N. Park Street
Tax Map 0103, Grid 00EA, Parcel 0801
Zoning District: R-10A
Historic Status: Non contributing
Request: After the fact approval for the installation of a PVC front porch hand railing (Case #26-0096).
- 2) Application Number:** 2026 - 1665 / HD 26 - 24
Applicant: Christopher Gillen
Location: 406 August Street
Tax Map 0104, Grid 00EA, Parcel 1068, Lot 1
Zoning District: R-7A
Historic Status: Contributing
Request: Conversion of the existing rear deck into a sunroom addition.
- 3) Application Number:** 2026 - 1666 / HD 26 - 25
Applicant: Town and Country Roofing & Siding on behalf of Carol Feeney
Location: 112 Talbot Street
Tax Map 0104, Grid 00EA, Parcel 1931
Zoning District: R-7A
Historic Status: Contributing
Request: Installation of a standing seam metal roof on two (2) historic outbuildings/sheds and the front porch.

- 4) **Application Number:** 2026 - 1667 / HD 26 - 26
 Applicant: Laurie Cheamitru
 Location: 502 Goldsborough Street
 Tax Map 0103, Grid 00EA, Parcel 1037,
 Lot 1

 Zoning District: R-7A
 Historic Status: Contributing
 Request: Replacement of the front door.

Discussion Item

- 1) Preliminary discussion for the proposed construction of new apartments at 17 E. Dover Street.

Election of Officers

- 1) Annual Election for Chairperson and Vice Chairperson.

Approval of Minutes

- 1) Approval of the Draft Decision Summary from the March 9, 2026 Meeting.

Administrative Approval

Consent Docket

- 1) **Application Number:** 2026 - 1670 / HD 26 - 27
 Applicant: Ruff Roofers
 Location: 31 E. Dover Street
 Tax Map 0103, Grid 00EA, Parcel 1222
 CB

 Zoning District: CB
 Historic Status: Contributing
 Request: Emergency approval for the total
 replacement of the upper and lower
 roofs, and repair to damaged portions of
 the wood decking and TPO membrane
 (as per the Historic District Commission
 Chairperson).

Adjournment



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601 410-822-1943
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 4/8/2024
Application Number: 2024-1172
Location: 106, 108, and 110 Talbot Lane
Applicant: John Hutchison Architecture and GRT Architects

Request: The applicant is proposing to construct a 4,980 square foot annex to the existing Academy Art Museum. The scope of work includes the restoration of the structure at 106 Talbot Lane, and the construction of a 3,640 square foot addition.

Commissioner Pezor moved to approve the application with the condition that **minor revisions to the proposed site and structure that are consistent with the Historic District Guidelines may be administratively approved by staff after consultation with the Chair of the Commission.**
 Commissioner Bateman seconded the motion.

FOR: 5 - Demby, Bateman, Greer, Pezor, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

4/23/2024

 Date



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601 410-822-1943
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 10/28/2024
Application Number: 2024-1172
Location: 106, 108, and 110 Talbot Lane
Applicant: John Hutchinson Architecture

Request: The applicant is proposing an amendment to a Certificate of Appropriateness (Application 2024 - 1172) that was granted on April 8, 2024 for the restoration of the contributing structure located at 106 Talbot Lane, and the construction of a 3,640 square foot addition. Amendments to the original application include minor changes to the proposed materials such as the substitution of corrugated metal siding from the previously approved concrete cladding on the rear elevation; the removal of a door from the rear elevation, the addition of a door to the southern façade, and the addition of a ramp and pathway connecting to the rear of the building to Talbot Lane.

Commissioner Bateman moved to **approve the application with the condition that the Applicant shall submit a cutsheet for the corrugated metal siding to staff for the Chairperson’s review.**
 Commissioner Stuart seconded the motion.

FOR: 4 - Demby, Bateman, Greer, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

In the event than any party is aggrieved by a decision of the Commission, the party has the right of appeal to the Board of Zoning Appeals in accordance with Article XIII of the Zoning Code. Appeal requests must be filed within thirty (30) days from the date of the Commission decision. Further appeal may be taken to the Circuit Court for Talbot County.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

11/13/2024

 Date



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson, Town Planner, njohnson@eastonmd.gov

Property Address: 106, 108, and 110 Talbot Lane

Applicant: John Hutchison, AIA on behalf of Academy Art Museum Inc.

Application Number: 2024-1172

Code Enforcement Case: Yes No

Project Description:

The applicant is requesting approval for revisions to a Certificate of Appropriateness originally issued on April 8, 2024, and subsequently amended on October 28, 2024, for the construction of a 4,980-square-foot structure. The overall project includes the restoration of a contributing structure located at 106 Talbot Lane and the construction of a 3,640-square-foot addition. The sketch site plan for the project was unanimously approved by the Planning Commission on September 24, 2024, and the development site plans were approved on July 24, 2025. Building permits for the project were issued on October 29, 2025.

The proposed revisions include minor modifications to the approved site layout and updates related to the rehabilitation of the contributing structure. In response to comments generated during the site plan review process, a stormwater planter box and bicycle rack have been added to the rear yard. The applicant is also proposing to remove the previously approved art pedestal from the courtyard and install additional brick pavers within the loading bay area. In addition, the front-facing ADA ramp and porch are proposed to be revised from wood construction to masonry.

Changes to the contributing structure include the use of wood siding with a 5-inch exposure in order to more closely match the existing historic siding. The applicant is also proposing to install architectural asphalt shingles on the main and porch roofs in place of the previously approved cedar shakes.



Historic District Design Guidelines:

Guideline 19. Trees and Street Plantings

- c. The use of planter boxes and other landscaping features is encouraged. The design should be compatible with the character of the building and surrounding district.
- d. Stormwater management features and rain gardens should be unobtrusive and compatible with the surrounding district.

Guideline 37. ADA Ramps

- a. Ramps should be constructed of materials that blend in with the surrounding built environment. Ramp structures can be faced with brick, stone, or other materials as appropriate.
- b. Access ramps should be fabricated to avoid damaging or altering the contributing structure. Ramp design should be compatible with the style and materials of the existing porch and structure.
- c. Where possible, ramps should be installed on the side or rear elevation of a building.
- d. Avoid removing historic features in doorways, including stairs, porches, and railings to accommodate ramps. Consider building over or next to these features.

Guideline 52. Choose Appropriate New or Replacement Fixtures

- a. Replace missing or damaged light fixtures with replacements that replicate the originals or other similar examples appropriate to the architectural character of the building.
- b. Modern light fixtures may be appropriate as replacement or where light fixtures did not exist. They should be unobtrusive and not damage or obscure architectural features.

Guideline 65. Make Sensitive Replacements (Porches)

- a. Replace missing posts and railings where necessary to match size, shape, profile, proportion, and spacing to the historic feature.
- b. Use wood for porch details and structural parts, including steps, decking, and foundations, unless it can be documented that other materials were historically used on the house or used at an early date.
- c. Alternate materials may be allowable on a on side or rear porches if the new material, size, scale, and overall appearance matches the historic feature.
- d. Front porches on contributing historic structures are held to a higher standard than side or rear porches.



Guideline 68. Maintain Historic Roof Shape

- a. Preserve the historic shape and slope of the roof. If a roof will be replaced completely, it shall be replaced with the same roof form or a similar form complimentary to the architectural style.
- b. Details, ornamentation and other character-defining elements should be maintained.
- c. The addition of dormers should be undergone sensitively. If a dormer is added, its size, design, and placement should be in keeping with the character of the building and in scale with its size. Its siding and roofing should match the existing, and its windows should be consistent with the building's other windows in terms of style, type, and material.

Guideline 70. Roof Material

- a. Retain and repair visible historic roofing materials where feasible.
- b. Where total replacement of all roofing material is required, the new roofing should match the existing material or be a roofing material that is consistent with the building's architectural style.
- c. Heavy-weight architectural shingles are preferred when existing asphalt shingles are replaced.
- d. Repairs to isolated portions of visible roofing materials must match the existing in material, size, style, texture, and color.

Guideline 76. Preserve Historic Wood Siding

- a. Maintain existing wood façades using appropriate paint or other protective coatings.
- b. Repair minor deterioration using an appropriate wood consolidant or filler.
- c. Remove metal, vinyl, asbestos shingles and other inappropriate materials from façades and repair damaged wood as necessary.

Guideline 77. Make Sensitive Replacements (Siding)

- a. If the deterioration is severe, replace only the affected areas with wood siding that matches the existing in size, shape, profile, and texture.
- b. Avoid replacing original wood siding with a different type of wood siding; for example, replacing 4-inch horizontal wood board siding with wood shingles.
- c. Avoid applying replacement material that will damage underlying materials, trap moisture, or compromise the structural capacity of the façade.
- d. Avoid applying replacement material so that it damages or destroys other character-defining elements including trim and ornamental pieces.



Draft Motions:

1. I move that the Historic District Commission **approve the revised application as submitted.**

OR

2. I move that the Historic District Commission deny the application based on the following findings...

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101006215		106 TALBOT LANE		TALBOT LANE, LLC			
YEAR BUILT		PHYSICAL CONDITION					
1890		FAIR					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK				NONE APPARENT			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
ORIGINAL FRONT DOOR AND SOME 2/2 WINDOWS. PORCH POSTS + RAIL BUT HAS LOST MANY BALUSTERS ASBESTOS SHINGLES.							



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101000527		108 TALBOT LANE		SHANNAHAN, ROBERT G.			
YEAR BUILT		PHYSICAL CONDITION					
1900		FAIR					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK-SHOT GUN FAMILY				1 STORY REAR SECTION			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
ORIGINAL GLAZED AND PANEL DOOR. WOODEN 6/6 WINDOWS DOOR HOOD IS OLD IF NOT ORIGINAL.							



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101020811		110 TALBOT LANE		BLOOR, ELIZABETH A			
YEAR BUILT		PHYSICAL CONDITION					
ARCHITECTURAL STYLE				ADDITION(S)			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		N	
NOTES							
VACANT LOT							



TOWN OF EASTON
 PLANNING AND ZONING
 14 SOUTH HARRISON STREET, EASTON, MD 21601

HD 24 - 41

Application #:	2024 - 1172
Date Received:	03/09/2026
Fee Paid:	-
HDC Meeting Date:	03/23/2026
Date Property Posted:	03/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 106, 108, & 110 Talbot Lane

Contributing Non-Contributing YEAR BUILT: 1912-1919 NATIONAL REGISTAR # N/A

PROPERTY INFORMATION

OWNER NAME: Academy Art Museum, Inc.

TELEPHONE NO. EMAIL

Applicant or Agent

NAME: John Hutchison (John Hutchison Architecture and GRT Architects)

TELEPHONE NO. EMAIL

Description of Proposal (include additional sheets, as necessary)

This project last received it's Certificate of Approval at the 10/28/24 HDC Meeting and has subsequently been issued building permit #25-00020178. We are requesting the following changes to be considered for approval by the Historic District Commission:

Refer attached summary.

Specific Requirements

- The payment of fees is due at the time of application submittal.
 As of December 27, 2022, the fees are as follows:
 Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: [Signature]

Date: 3/9/2026

Printed Name of Applicant or Agent: John C. Hutchison, John Hutchison Architecture, LLC



Historic District Commission Application Checklist

Revised December 2022

Please complete the section that applies to your application. If a checklist item is not included or is non-applicable, please provide information supporting its omission for the Commission's consideration.

Requirements:

The payment of fees is due at the time of application submittal. As of December, 2022, the fees are as follows: **Commercial - \$200, Residential - \$75, Signs - \$75, Staff Approval - \$25.**

The application submitted shall include 2 copies plus 1 digital.

All Applications to Include:

- A narrative fully explaining the request
- Photographs of all existing conditions and that will be affected by the proposed project
- Description of all existing materials and a listing of all materials to be used for proposed project.
- Manufacturer cut-sheets and material specifications related to all proposed work.
- Any available and applicable historical photographs, sketches or other documentary evidence illustrating previous conditions and configurations of the building(s)

New Construction / Addition

- Dimensioned elevations drawn to an appropriate scale illustrating all sides of the proposed structure. Drawings shall include notations outlining roof pitches, trim details and the type of windows and doors to be used for the project
- Site plan drawn to an appropriate scale and including setbacks and neighboring structures. Site Plan should illustrate the footprint(s) of all proposed EXISTING AND PROPOSED construction.
- Construction schedule
- For new construction only, the Commission will require a three-dimensional rendering, superimposed photo, silhouette or model of the proposed structure, other structure(s) located on the subject property and neighboring structures when necessary to understand the visual impact of the new construction and its compliance with the Guidelines.

Renovations

- Elevations or photographs of the existing conditions
- Elevation of the proposed changes
- Cut sheet for all proposed materials – Be sure to include all of the following that apply and any other additional materials:
 - Windows
 - Doors
 - Trim, fascia, soffit, etc
 - Decking/ porch flooring materials
 - Roofing Materials, gutters

Windows

Restoration of existing windows is the Commission's first choice. However, the Commission recognizes it may not always be practical to replace windows. For contributing buildings the front façade and any other façade facing a primary right of way are required to be wood windows. Aluminum, or fiberglass clad wood windows may be approved by the Commission on side or rear façades of contributing buildings. For non-contributing buildings clad wood windows will be considered on all elevations. Note: National Register Buildings are held to the highest of standards.

- Photograph or scaled elevation of all elevations of the building with each window that is to be replaced clearly labeled.
- Manufacturers cut sheet for each window to be replaced. Clearly labeled where it will be installed on the building.
- Materials for the windows must be clearly identified on the cut sheet
- Please note if existing trim/shutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Roofing

Note: National Register Buildings are held to the highest of standards.

- Photographs or scaled elevations showing the existing roofing material to be replaced.
- Manufacturers cut sheet for each type of roofing to be replaced. Clearly labeled where it will be installed on the building.
- Please note if existing trim, fascia, soffit, or gutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Signs

- Dimensioned scale drawings of the sign. Identify all materials to be used, color(s), lettering (including size and font style) and wording
- Photograph depicting the proposed location for the signage
- Lighting detail
- Construction and or mounting details

Landscaping & Trees

- Landscape plan where existing and proposed landscape features to be installed/planted, removed and/or relocated are identified including the location and species of existing and new trees

Fence

- Application must include:
 - A Site plan :
 - Drawn to scale
 - Show and label the location of new and any existing fence. (this can be completed on two separate site plans for clarity)
 - Include location of neighboring structures
 - Identify height of proposed fence, location of gates and other openings
 - If the height or style of fence changes based on location, this must be clearly identified.
 - Proposed fence style and material
 - Include photograph, manufacturer cut-sheet of the fence, or detailed sketch of proposed fence.
 - other relevant construction and or material detail

Demolition

The Historic District Commission (HDC) reserves the right to request a professional inspection of the structure(s). Said request may include evaluation by a historic preservation specialist.

- Elevations and photographic documentation of all elevations of the structure(s) to be demolished including footprint dimensions, height dimensions and a site plan illustrating location of the structure(s) to be demolished
- Structural Analysis by Structural Engineer or Licensed Architect
- For Economic Hardship please provide documentation. Reference Guideline 13.9
- Attach replacement plan

Other

- Attach all documentation supporting request

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.

If the applicant or their designee is not present for the scheduled HDC meeting, the Commission may elect to refrain from discussing and voting on the scheduled agenda item.

This checklist shall be submitted along with the completed Historic District Commission Application and all additional supporting information.

March 9, 2026

To: Town of Easton
Planning and Zoning
14 S. Harrison Street Easton, MD 2160
HISTORIC DISTRICT COMMISSION

Cc: GRT Architects
Academy Art Museum

Encl: HDC Certificate of Appropriateness (Amended 10/28/24)
HDC Submittal (3 Sheets)
Exterior photos after cementitious siding removal.

Re: **Academy Art Museum Annex
Project Revisions**

The project referenced above last received a Certificate of Appropriateness (COA) from the Easton Historic District Commission (HDC) at the 10/28/24 HDC Meeting. See amended COA, attached. This project was subsequently issued Building Permit #25-00020178.

The Applicants, John Hutchison Architecture and GRT Architects, are requesting revisions of the COA, for the items listed below. The Building Permit was issued on 11/12/25 and work commenced in December of 2025. Due to a very cold winter and difficulty pouring concrete, the estimated project completion date has been adjusted to September of 2026.

A summary of requested changes is as follows:

1. The following Site Plan changes and additions were initiated as part of our Site Plan Review with the Town:
 - a. Planting screening at edge of property. Refer Sheet #1 and Sheet #2.
 - b. Stormwater management flow-through planter box to meet Town stormwater management criteria. Refer Sheet #1 and Sheet #2.
 - c. (6) metal bike rack stands. Refer Sheets 1, 2, and 3.
2. The following changes have been initiated in response existing field conditions and changes with the Art Museum's programmatic needs:
 - a. Brick paver path design entering into New Annex.

The museum has determined the proposed side entry door on the South side of the building will be best for "everyday use" by staff. Additionally, the museum is in need of a paver system that will allow for easy travel of dollies on wheels.

We have modified the design of the paver path to accommodate the Academy's needs, while also maintaining stormwater management requirements, and have changed the specification of the proposed pavers to allow for a rumbled edge in lieu of a beveled edge, which will allow for easier

travel of dollies and carts. Refer Sheets 1 and 3.

Additionally, an exterior light fixture has been selected for the side entry door on the South side. Refer sheet 3.

b. Change in siding and exterior trim strategy for the original 106 Building.

Our initial analysis of the building, identified 4" cedar clapboard siding as the original siding for 106. This was true, but only on the front (Western) facade of the building, where we had performed our investigation. After demolition of the existing cementitious siding covering the wood siding, we discovered that although the front facade contained 4" cedar clapboard, it was not original. The original siding still remained on the South and Northern facades (and some of the Eastern Facade). The original siding was Southern Yellow Pine, and had an average exposure of 5". However, the original siding was not salvageable. See attached photos.

Southern Yellow Pine siding is extremely difficult to get, and even more difficult to get in old growth wood, which the original siding was. We are proposing to re-side the 106 structure using 5" exposure Western Red Cedar, natural finish (will weather to grey). Refer Sheet 1.

The existing running trims/casings/cornices were not able to be salvaged. We are proposing to replace them in kind (wood), painted. Refer Sheet 1 and Sheet 3.

c. Change front entry/porch base/"ramp" design for 106.

The original design presented, called for a wood front porch and ramp. Upon further reflection, we are proposing to design this area using masonry as per the attached. The resulting design will work much better for ADA accessibility and will be substantially more durable than wood. Refer Sheet 1 and Sheet 3.

d. Removal of "exhibition pedestals" in the front courtyard:

Academy is re-thinking their exhibition strategy and it is unlikely that pedestals in the courtyard will be used. We are working with the Academy for alternative solutions and will submit a proposed design to the Historic District Commission when completed.

3. The following changes are requested due to prohibitive construction cost realities:

a. We request to change the material of the 106 main roof and porch roof, from cedar shingles to asphalt singles.

The cost of cedar shingles have risen dramatically and that change in cost is prohibitive for this project. We are proposing Architectural asphalt shingles as shown on Sheet 3, which are in-keeping with and similar to many other historic properties in the neighborhood.

Thank you very much for your consideration regarding our request for modifications to our Certificate of Appropriateness.



John C. Hutchison, AIA
John Hutchison Architecture, LLC



planting screening at edge of property line per Town requirements (see appendix for Town approved site plan)

stormwater management flow through planter box required to meet Town SWM criteria (see appendix for Town approved site plan)

(6) metal bike stands per Town requirements (see appendix for cut sheet and Town approved site plan)

exterior wall sconce (see appendix for cut sheet)

brick paver path at loading area to match courtyard brick pavers (see appendix for cut sheet)

asphalt shingle roof (see appendix for cut sheet)

5" exposure Western Red Cedar clapboard siding revised from 4" exposure Western Red Cedar clapboard siding

painting wood trim at windows, door, porch, and eaves (see appendix for paint color)

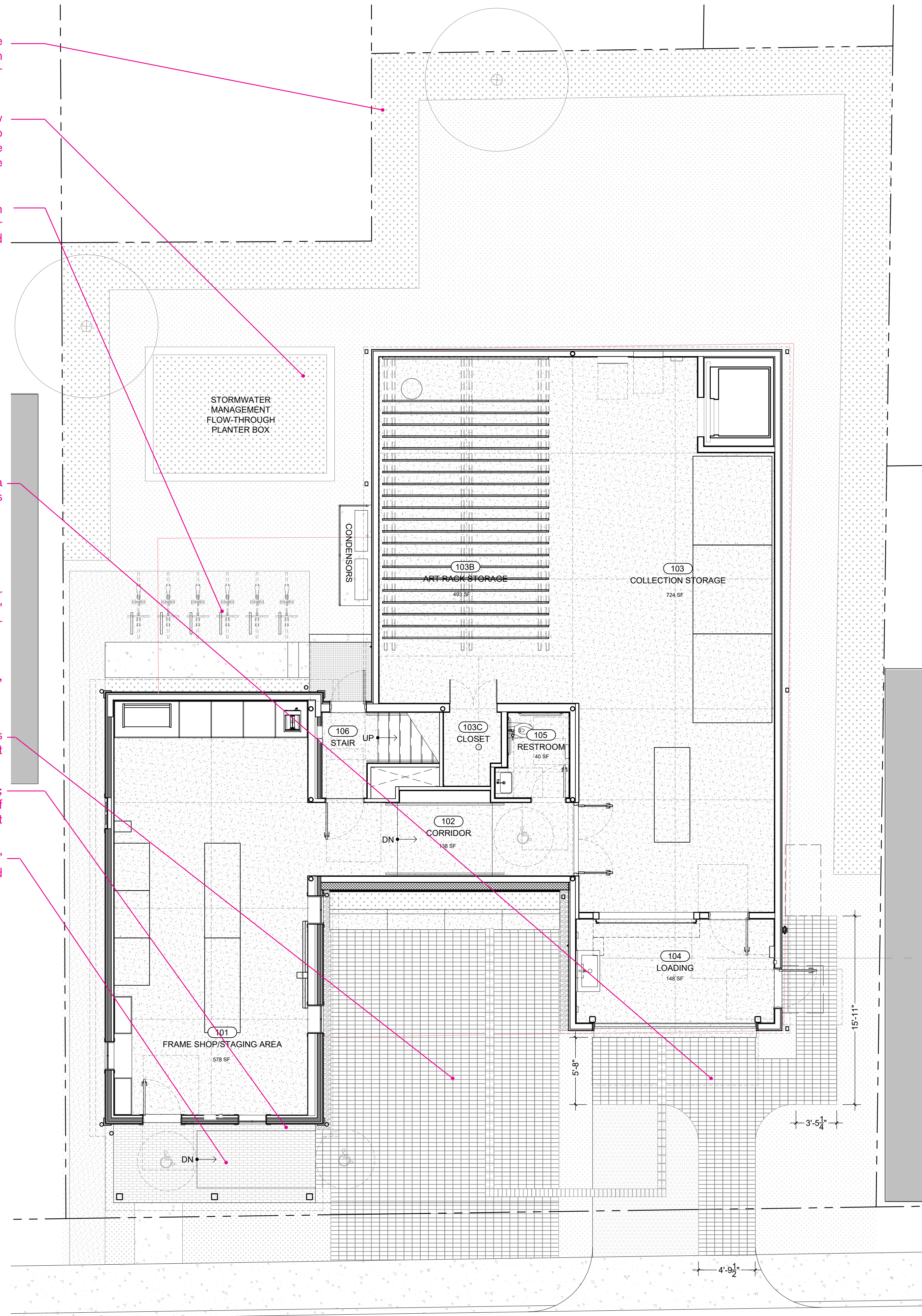
omission of exhibition pedestals for archaeological objects at courtyard

masonry porch with brick veneer; brick veneer to match base of building (see appendix for cut sheet)

masonry sloped surface "ramp" is now less than 1:20 pitch and no longer requires a handrail



Elevation at Talbot Lane Facade (West Elevation)
1/4" = 1'-0"

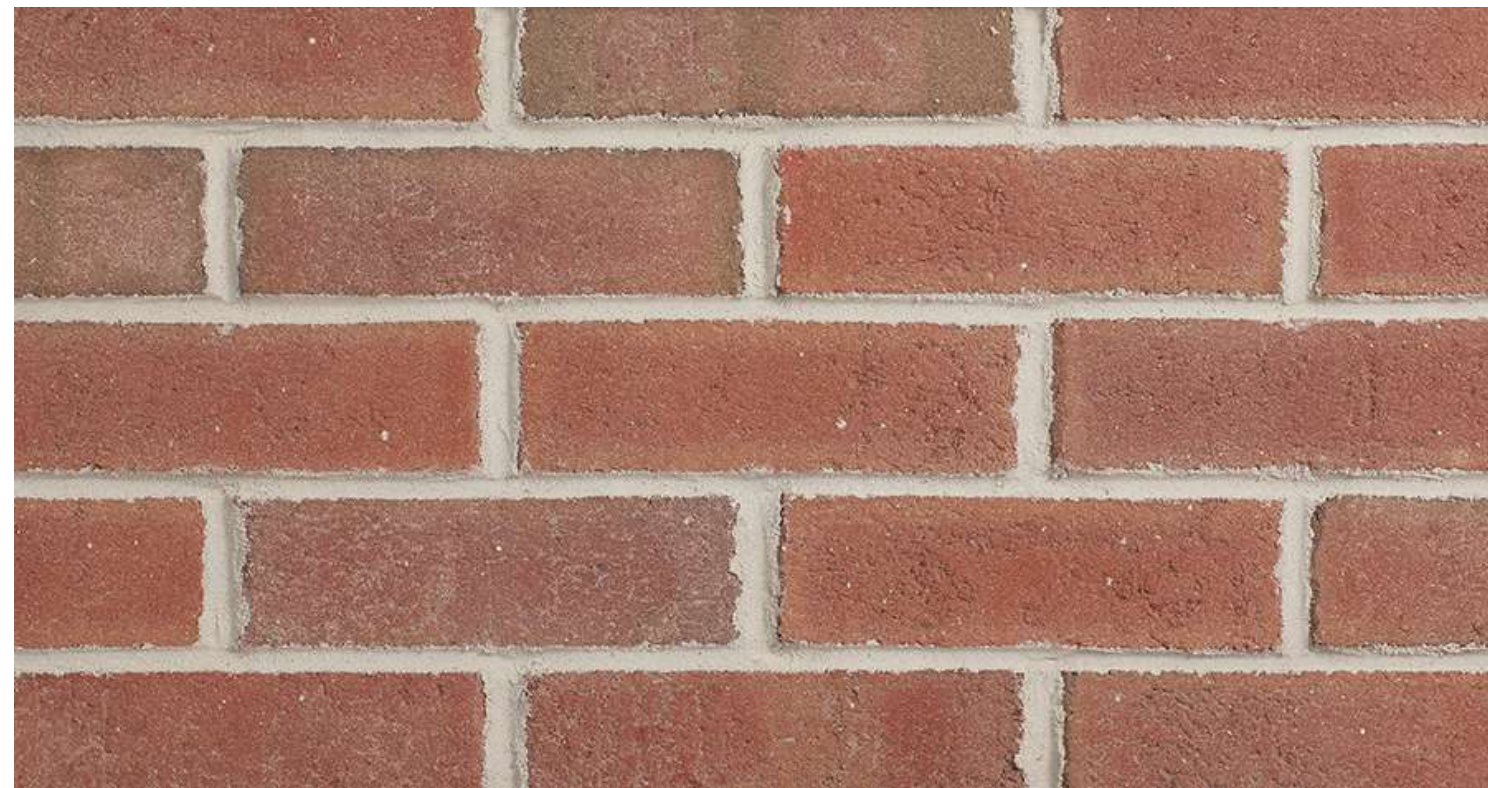


First Floor-Site Plan
3/16" = 1'-0"

Project Schedule

Target Completion
Date: September
2026

* pink indicates revision from last submission for HDC renewal dated October 14, 2024; see cover letter for further explanations of design changes



Heritage S Thin Brick [Save Product](#) [Compare Brick](#) [P](#)

Technical Data Sheet
KF Series
Mid-Atlantic Plant

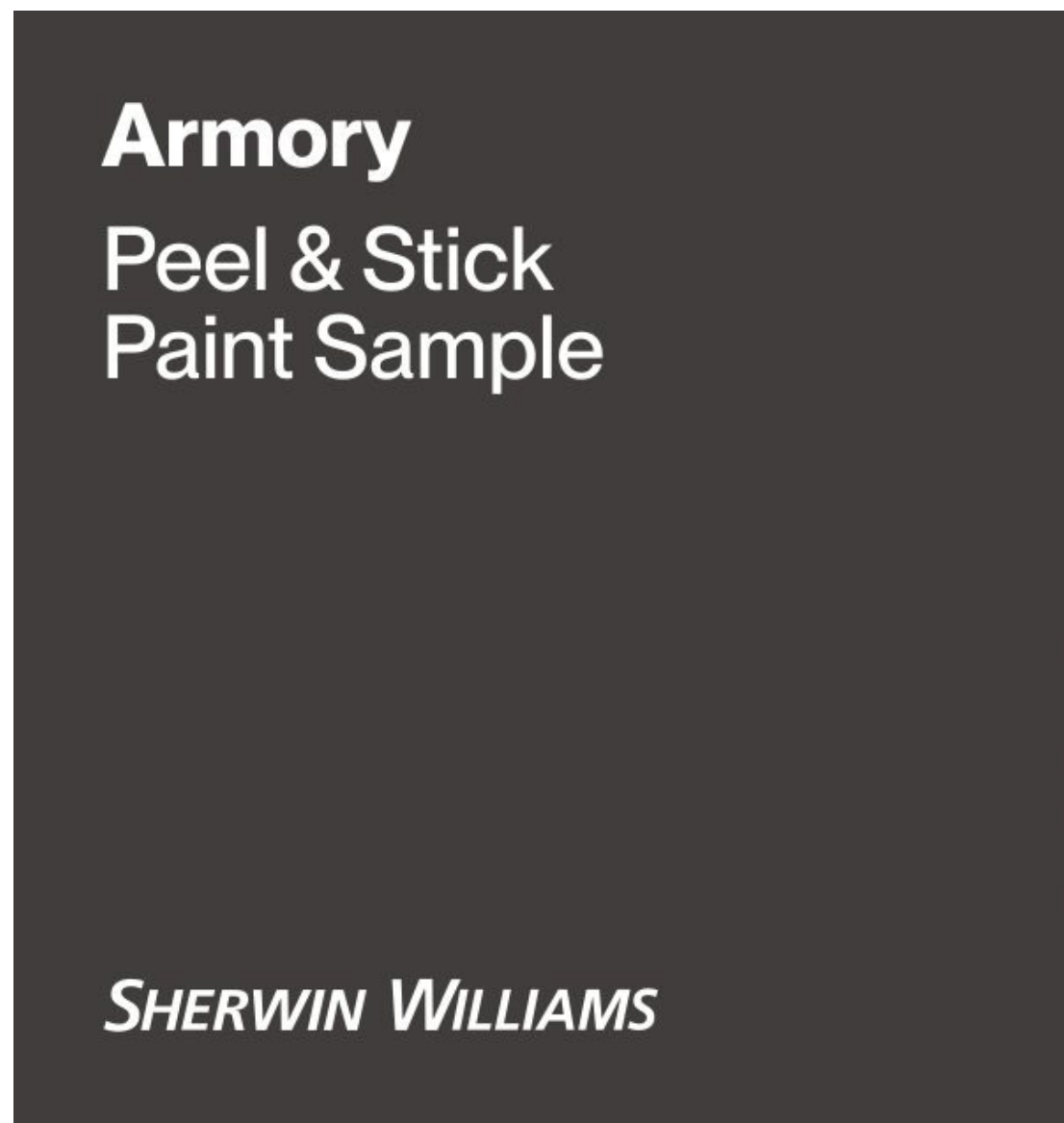


Product Name	Switch	Size	Standard	Durability Class (Grade)	Dimensional Variation (Type)	Compressive Strength (psi)	24-hr Cold Water Absorption (%)	5-hr Bolt Absorption (%)	IRA (g/min per 30in ²)	Core Volume (%)
Heritage S		Modular	ASTM C216	SW	F85	>5,000	<8	<10	<30	<25

Size	Width	Height	Length	Weight	Brick per Cube	Brick per Sq Ft
Modular	3-5/8"	2-1/4"	7-5/8"	4.3	630	6.86

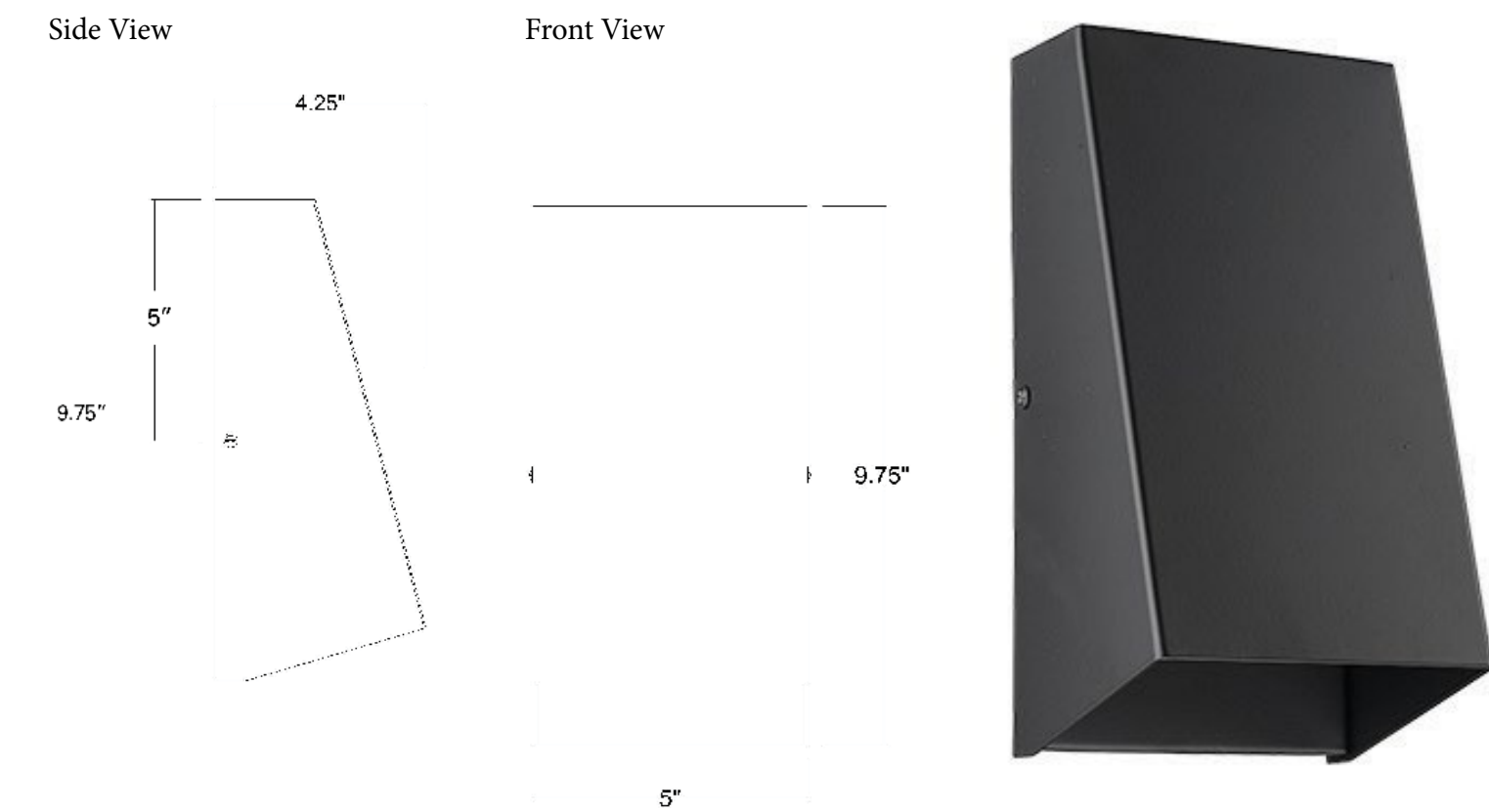
Note: products are also available as Thin Brick, see Thin Brick Technical Data Sheet.

Brick Veneer at Existing House Base & Porch



Paint Color for Exterior Trim

1515BK
NOLAN 1-LIGHT WALL SCONCE



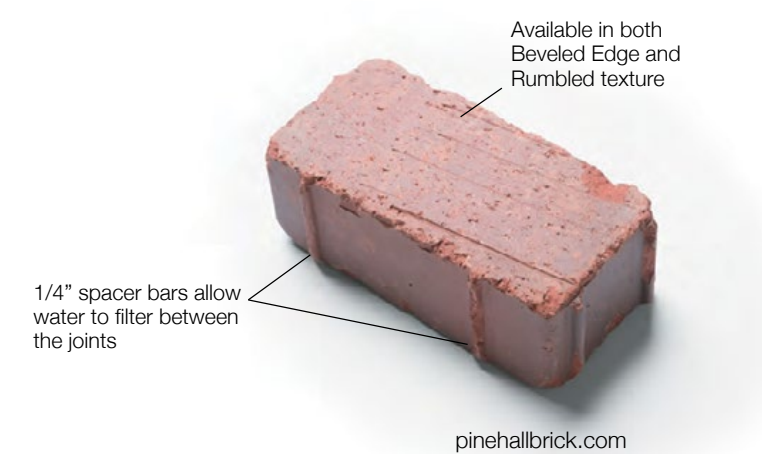
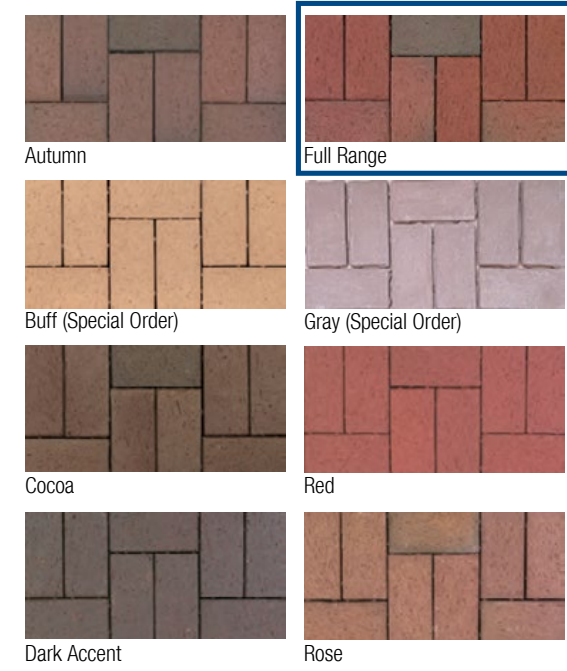
Description:	Nolan 1-light wall sconce	Material:	Iron
Finish:	Matte black	Shade:	Iron
Dimensions:	5" W x 9-3/4" H x 4-1/4" ext. Height on center: 5"	Glass:	NA
Bulbs:	1-100w medium	Back Plate Dimensions:	4-3/4" x 9-3/4"
Installed Weight:	2 lbs.	Chain/Wire:	NA
Certification:	Wet location / ETL	Additional Finishes:	Oil rubbed bronze, matte nickel

180 Joe Frank Harris Pkwy SE | Building 500 | Suite 550 | Cartersville, GA 30120
Phone: 866-845-5451 | Fax: 866-816-6165 | Email: service@acclaim-lighting.com | www.acclaim-lighting.com

Exterior Light

StormPave™ Permeable Pavers

StormPave™ is an amazing breakthrough in permeable paving. StormPave clay pavers have beveled edges and large spacer bars that allow rain to filter between washed aggregate in the joints to a specially constructed catchment area underneath the pavers. The water then dissipates naturally into the native soils. StormPave pavers are available in standard 4" x 8" by 2-1/4" thickness as well as 2-3/4" thickness for heavy vehicular applications. For more information, go to pinehallbrick.com/permeable. Heavy Duty pavers are stocked in Full Range.

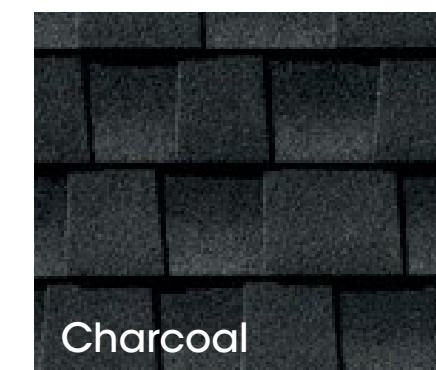


Courtyard/Loading Area Path Pavers



Benefits:

- LayerLock® technology** — mechanically fuses the common bond between overlapping shingle layers
- Up to 99.9% nailing accuracy** — the StrikeZone® nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test!
- 25-year StainGuard Plus™ Algae Protection Limited Warranty** — when installed with the required combination of GAF accessories, Timberline HDZ® shingles are eligible for a wind warranty with no maximum wind speed limitation!
- Dura Grip™** sealant pairs with the microgranule surface of the StrikeZone® nailing area, and an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind-uplift performance
- 25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.* Proprietary GAF time-release algae-fighting technology helps protect your shingles from unsightly stains.
- For the best look** — use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles



Product details:

- Product/System Specifics**
 - Fiberglass asphalt construction
 - Dimensions (approx.): 13 1/2" x 39 1/2" (337 mm x 1,000 mm)
 - Exposure: 5/8" (143 mm)
 - Bundles/Square: 3
 - Pieces/Square: 64
 - StainGuard Plus™ Algae Protection Limited Warranty*
 - Hip/Ridge: TimberTex®; TimberCrest®; Seal-A-Ridge®; D-Ridge; RidgeLine™
 - Starter: Pro-Start®; QuickStart®; WeatherBlocker™
 - Applicable Standards & Protocols:**
 - Passes UL 2218 Impact-Resistance Test with Class 3 rating
 - UL Listed to ANSI/UL 790 Class A
 - State of Florida Approved
 - Classified by UL in accordance with ICC-ES AC438
 - Meets ASTM D7158, Class H
 - Meets ASTM D3316, Class F
 - Meets ASTM D3318 Type 1
 - Meets ASTM D3462†
 - Miami-Dade County Product Control Approved
 - ICC-ES Evaluation Reports ESR-1475 and ESR-3267
 - Meets Texas Department of Insurance Requirements
 - Rated by the CRRC. Can be used to comply with Title 24 Cool Roof Requirements (some colors).
- *Lifetime refers to the length of warranty coverage provided and means as long as the original installed shingle(s) or single-family detached residence (or single second owner(s)) owns the property where the qualifying GAF products are installed. For other construction types, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions. Visit gaf.com/US for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingles and at least 3 qualifying GAF accessories. See the GAF Roofing System Limited Warranty for complete coverage and restrictions. For restrictions not eligible for the GAF Shingle & Accessory Limited Warranty, see the GAF Shingle & Accessory Limited Warranty. Visit gaf.com/US for qualifying GAF products. †Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HDZ® Shingles to Timberline HDZ® Shingles and a frequency roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary. ‡25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products. †††Heavy Blend colors are only available on TimberTex® Ridge Cap Shingles, Seal-A-Ridge® Ridge Cap Shingles, and TimberCrest® Premium SBS-Modified Ridge Cap Shingles. †††Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.



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Home > All Products > Facilities Maintenance > Bike Racks > Circle Bike Rack

Circle Bike Rack - 2 Bike Capacity, Galvanized



- Clean, minimalist design for metro areas.
- 2 contact points for locking frame and wheel.
 - 10-gauge, galvanized steel or attractive powder coating.
 - Mounting hardware included.

[More Images](#)

SPECIFY COLOR:

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS)	PRICE EACH	COLOR	IN STOCK SHIPS TODAY
H-6572GALV	Circle	35 x 2 1/2 x 33"	2	32	\$290 \$275	<input type="checkbox"/> Galvanized	1 <input type="button" value="ADD"/>

SHIPS VIA UPS

[Additional Info](#) [Parts](#) [Shipping Lists](#) [Request a Catalog](#)

<p>DIMENSIONS:</p> <ul style="list-style-type: none"> Tube Diameter: 2 3/8" Mounting Holes: 9/16" <p>APPEARANCE:</p> <ul style="list-style-type: none"> Material undergoes a unique galvanization process. Finish initially may not be smooth and consistent. <p>MOUNTING HARDWARE:</p> <ul style="list-style-type: none"> Included hardware is for concrete, block or stone. Not recommended for asphalt. 	<p>Availability: In Stock Unit Weight: 41 lbs.</p> <p>Instructions</p> <p>Email Item</p> <p>Country of Origin: USA</p>
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Bike Ring (Rear Yard)



Academy Art Museum Annex

106 Tallbot Lane
Easton, MD 21601

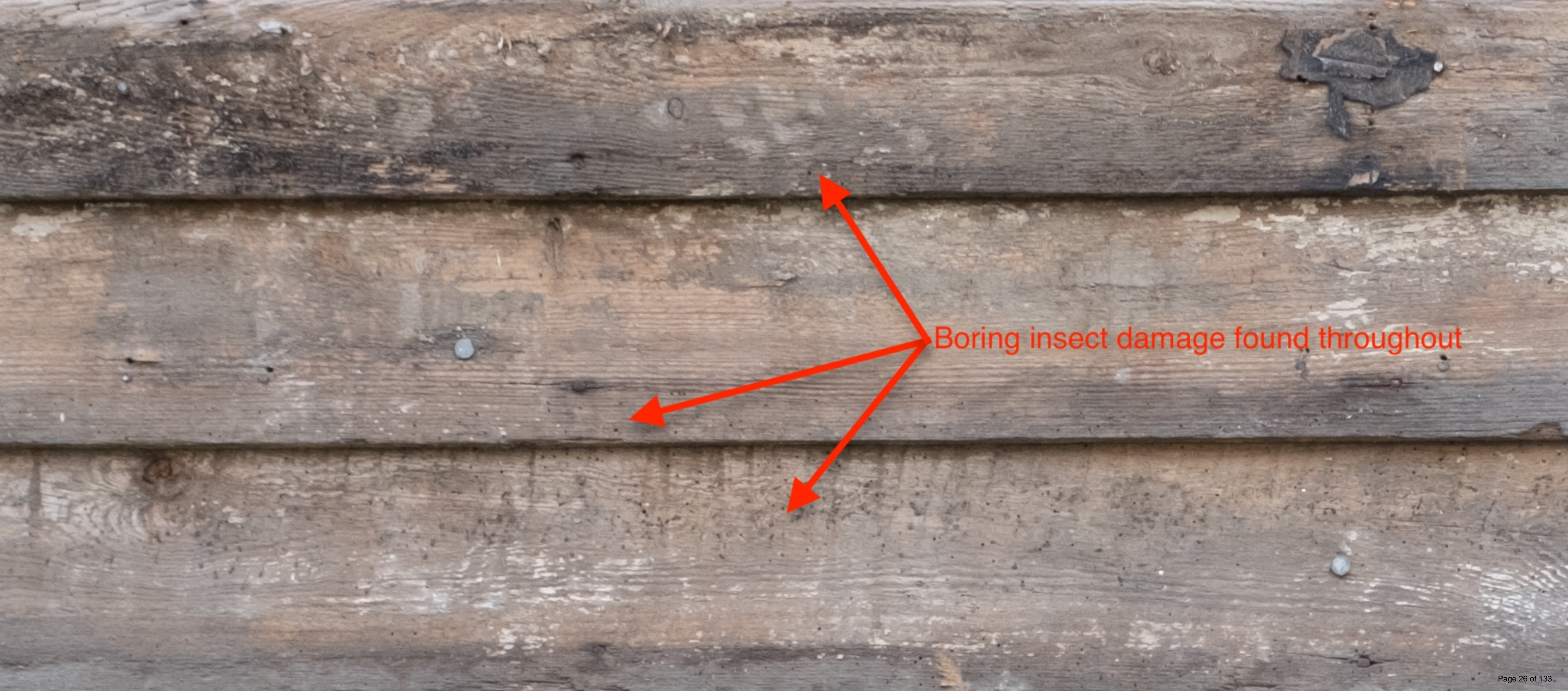
HDC Submission:
Certificate of Appropriateness
Revisions

For Review/Approval at March
23, 2026 HDC Meeting









Boring insect damage found throughout



Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Meeting Date: 10/27/2025
Application Number: 2025-1580
Location: 113 N Washington Street
Applicant: Bluepoint Hospitality Group

Request: The Applicant is requesting the in-kind replacement of six (6) double hung, six-over-six wooden windows on the second and third floors of the front facing façade. The Applicant is also requesting a minor revision to the placement of a second-floor window on a non-visible side façade.

Commissioner Stuart moved to **approve the application as submitted.**
 Commissioner Bateman seconded the motion.

FOR: 5 - Demby, Brophy, Bateman, Carr, Stuart

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse six (6) months after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse six (6) months from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

In the event that any party is aggrieved by a decision of the Commission, the party has the right of appeal to the Board of Zoning Appeals in accordance with Article XIII of the Zoning Code. Appeal requests must be filed within thirty (30) days from the date of the Commission decision. Further appeal may be taken to the Circuit Court for Talbot County.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

11/12/2025

 Date



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 113 N Washington Street

Applicant: Suzanne Kline on behalf of Washington Street Properties

Application Number: 2025-1581

Code Enforcement Case: Yes No

Project Description:

The applicant is seeking after the fact approval for work conducted on the front façade in association with two separate building permits.

Roof Replacement:

The first alteration involves a permit for an in-kind asphalt shingle roof replacement (HD #25-1509 & BP #25-20887). The approved scope of work was limited to the replacement of the existing asphalt shingles and did not include alterations to the trim, fascia, gutters, or soffit. The applicant states that after removing the existing roof, rot was discovered in the dormers, necessitating their reconstruction, as well as replacement of portions of the soffit and fascia. In addition, the applicant removed the existing K-style gutters and has proposed installing new copper half-round gutters. The decorative wood frieze was also removed during construction but has since been reinstalled.



Figure 1 Rebuilt Dormer

Front Façade Masonry:

A separate building permit and certificate of appropriateness (HD #25-1581 & BP #23-18880) covered the replacement of the existing windows on the second and third floors of the front façade. Once work commenced, it was discovered that masonry surrounding the second-



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

floor window openings was in poor condition and the window openings were out of level. To address these issues the damaged masonry was removed and either re-installed or replaced in-kind. The existing stone lintels and wood sills were also removed to address the leveling issue. Once corrected, the stone lintels will be re-installed and the wood sills will be re-installed or replaced in-kind if damaged beyond repair.





Figure 2 & 3: 2023 - Approved Elevations

Historic District Guidelines:

Guideline 1. Preserve Significant Historic Features

Every historic building, from each style of architecture has a set of distinctive details that contribute to the overall character of the building.

- a. Avoid the removal of historic architectural features and materials. Historic architectural features include large scale characteristics including the building's overall shape, roof form, and fenestration patterns, as well as small-scale features like moldings, brackets, ornaments, and other examples of skilled craftsmanship.
- b. Retain existing historic building materials, including brick and stone masonry, wood shingles and siding, stucco, etc., to the greatest extent possible. Avoid removing historic materials that are in serviceable condition.
- c. Materials or additions which were added after the building's initial construction – for example a porch, or a kitchen addition – may have since achieved historic significance in their own right and should be preserved.

Guideline 2. Repair Rather than Replace

Where possible, repair historic materials and features rather than replacing them.

- a. Repair rather than replace historic features wherever possible.
- b. Use the recommended technical procedures for cleaning, refinishing, and repairing historic materials. See Appendix D for technical resources. Some cleaning methods, including chemical and abrasive methods, and repair techniques can cause or exacerbate damage to historic materials of the building, particularly masonry. Always use the gentlest methods available.

Guideline 3. Make Sensitive Replacements

When a historic element is deteriorated to the point that replacement is required, the replacement should replicate the element as closely as possible.

- a. Replace as little historic material as possible. This may include patching, splicing, or piecing-in replacement materials such as individual roofing tiles, shingles, or siding, masonry patches, or dutchman repairs for wood elements.



b. Match the historic feature's size, shape, profile, texture, and color to the greatest extent possible. The new materials should match the old when possible. In some cases, replacement with features recreated in synthetic materials may be appropriate.

Guideline 55. Maintain Historic Masonry

- a. Maintain and repair character-defining brick, stone, and stucco.
 - b. If replacement of all or some masonry material is necessary, use materials that match the original in size, texture, color, and profile.
 - c. If a masonry wall has historically been painted, it should continue to be painted. Avoid painting or staining historically unpainted surfaces. Avoid applying waterproof coatings to masonry walls that change their appearance or that cause moisture to be trapped inside of a brick or other masonry cavity.
 - d. Remove modern covering materials such as metal and vinyl siding applied over original masonry.
 - e. Avoid covering original masonry walls.
 - f. Avoid removing original masonry features.
- additional information on substituting historic materials, see Appendix B).

Guideline 58. Replacing Masonry Units

When the structural integrity of a wall has weakened from movement or the surface deterioration of masonry units is extremely severe, the replacement of masonry units may be necessary. Replacement masonry units should match the size, color, and texture of the damaged or missing units. Replacement mortar should be softer than the bricks, and no harder than the original mortar.

- a. If a masonry feature, such as a window hood or brick corbel is missing, it should be replaced based on documentary or photographic evidence.
- b. If no evidence of the design of the feature exists, a new design compatible or consistent with the overall character of the building should be used.
- c. Where replacement of all or part of a brick or stone masonry wall is required, match the replacement units to the historic units. The new brick or stone should be the same size, type, and color as the original or should match as closely as possible.



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

d. Mortar should be appropriate to the historic walls. New mortar should match the historic mortar in terms of hardness, strength, color, and aggregate size.

Guideline 93. Sills, Lintels, and Frames

- a. Retain original sills, frames, lintels, and associated window trim and ornamentation.
- b. Do not wrap sills or frames in any materials (sheet metal, vinyl, etc.).
- c. Avoid adding details, surrounds, shutters, ornamentation and other features that have no historical basis and are not in keeping with the character of the original window.
- d. When historic sills, lintels, surrounds, or trim requires replacement, it should be made in-kind using the same or similar material and replicating the form, profile, color, and texture of the original unit.

Draft Motions:

1. I move that the Historic District Commission **approve** the amended application as submitted.

OR

2. I move that the Historic District Commission **deny** the application based on the following findings...

OR

3. I move an alternate motion.

Appendix A: 2012 Easton Historic District Survey Sheet



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101024779		113 N WASHINGTON ST		WASHINGTON STREET PROPERTIES, LLC			
YEAR BUILT		PHYSICAL CONDITION					
1795*		GOOD					
ARCHITECTURAL STYLE				ADDITION(S)			
FEDERAL							
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B	T-23	Y	
NOTES							
1ST FLOOR OF FAÇADE RECONFIGURED FOR COMMERCIAL PURPOSES IN A UNSYMPATHETIC MANNER							



TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #: 2025 - 1580
Date Received: 03/12/2026
Fee Paid: -
HDC Meeting Date: 03/23/2026
Date Property Posted: 03/18/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING
 DEMOLITION
 SIGNAGE
 FENCING
 OTHER
 NEW CONSTRUCTION/ADDITION
 EXTERIOR ALTERATIONS
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 113 N. Washington St.
 Contributing
 Non-Contributing
 YEAR BUILT: _____
 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: Washington Street Properties
 TELEPHONE NO. [REDACTED]
 EMAIL [REDACTED]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME: Bluepoint Hospitality Group
 TELEPHONE NO. [REDACTED]
 EMAIL [REDACTED]

Description of Proposal (include additional sheets, as necessary) [REDACTED]

This is a revision to last HDC approval.
Please see attached proposed scope of work and photos.

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.


The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent

Date

Printed Name of Applicant or Agent


3/12/26
Suzanne Kline

The previously approved work for this building included replacement of the second-floor front windows. During construction and preparation of the masonry openings for installation of the new windows, two existing conditions were identified that required corrective action.

First, the face brick surrounding several masonry openings, as well as in various areas of the front façade, was found to be in poor condition. Some bricks exhibited chipped corners, spalled faces, or were crumbling when touched. These conditions were limited to the outer wythe of brick (the wall itself is three wythes thick).

Second, several of the masonry openings were found to be out of level, in some cases by as much as three inches.

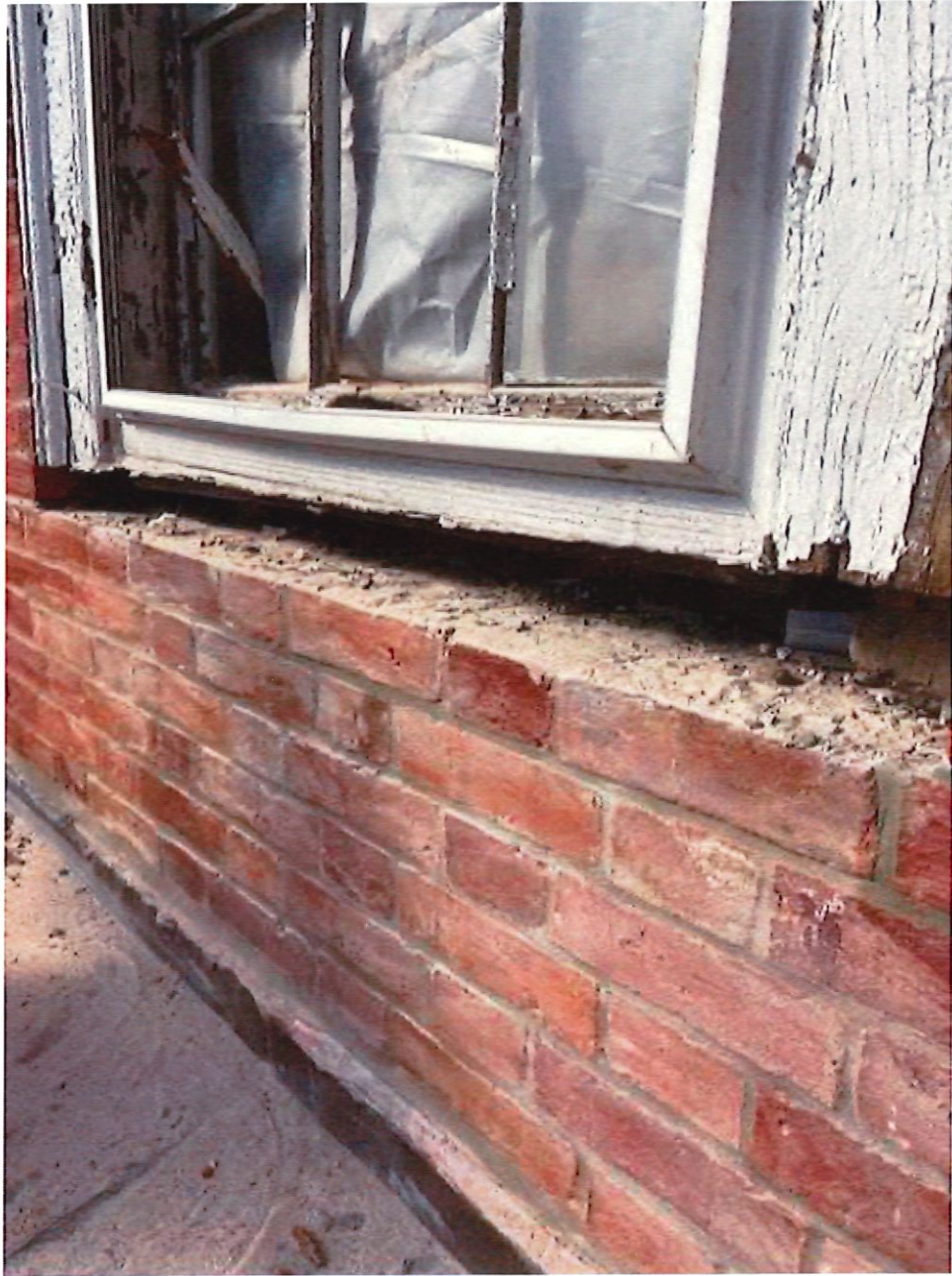
To address the deteriorated brick, masons are selectively removing only those units that are damaged. Where feasible, bricks are being turned and reinstalled to expose their intact rear faces. When a brick cannot be salvaged, it is being replaced in kind with a new brick selected to match the existing as closely as possible.

To correct the out-of-level openings, the existing stone lintels and wood sills were temporarily removed. New steel angles have been installed at the window heads to provide temporary support and to facilitate proper reinstallation of the original stone lintels. The wood sills are being repaired and retained where possible; where rot or water damage has made them unsalvageable, they are being replaced in kind to match the originals.

The Flour Shop

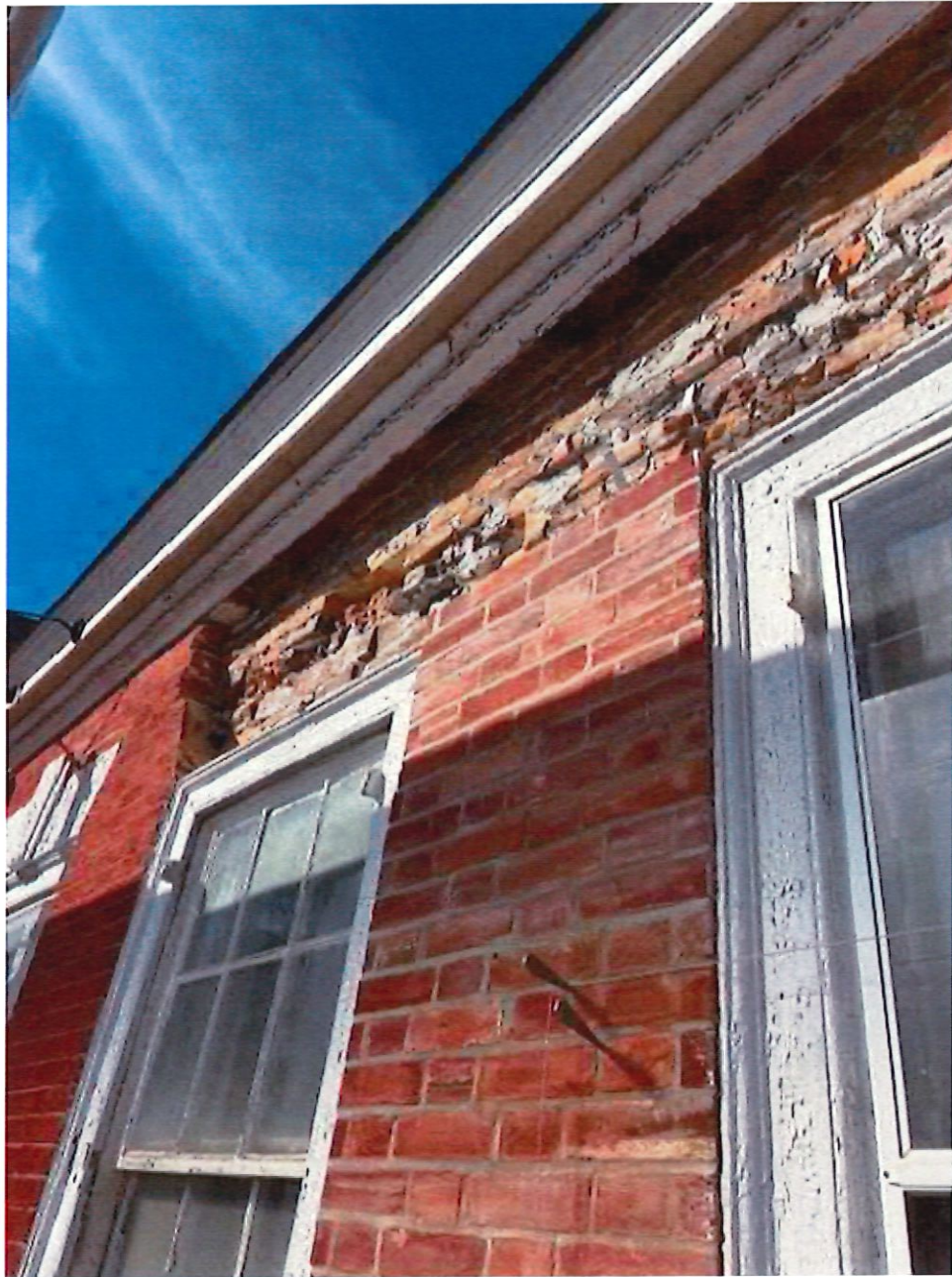
55 YEARS 1977 - 2013

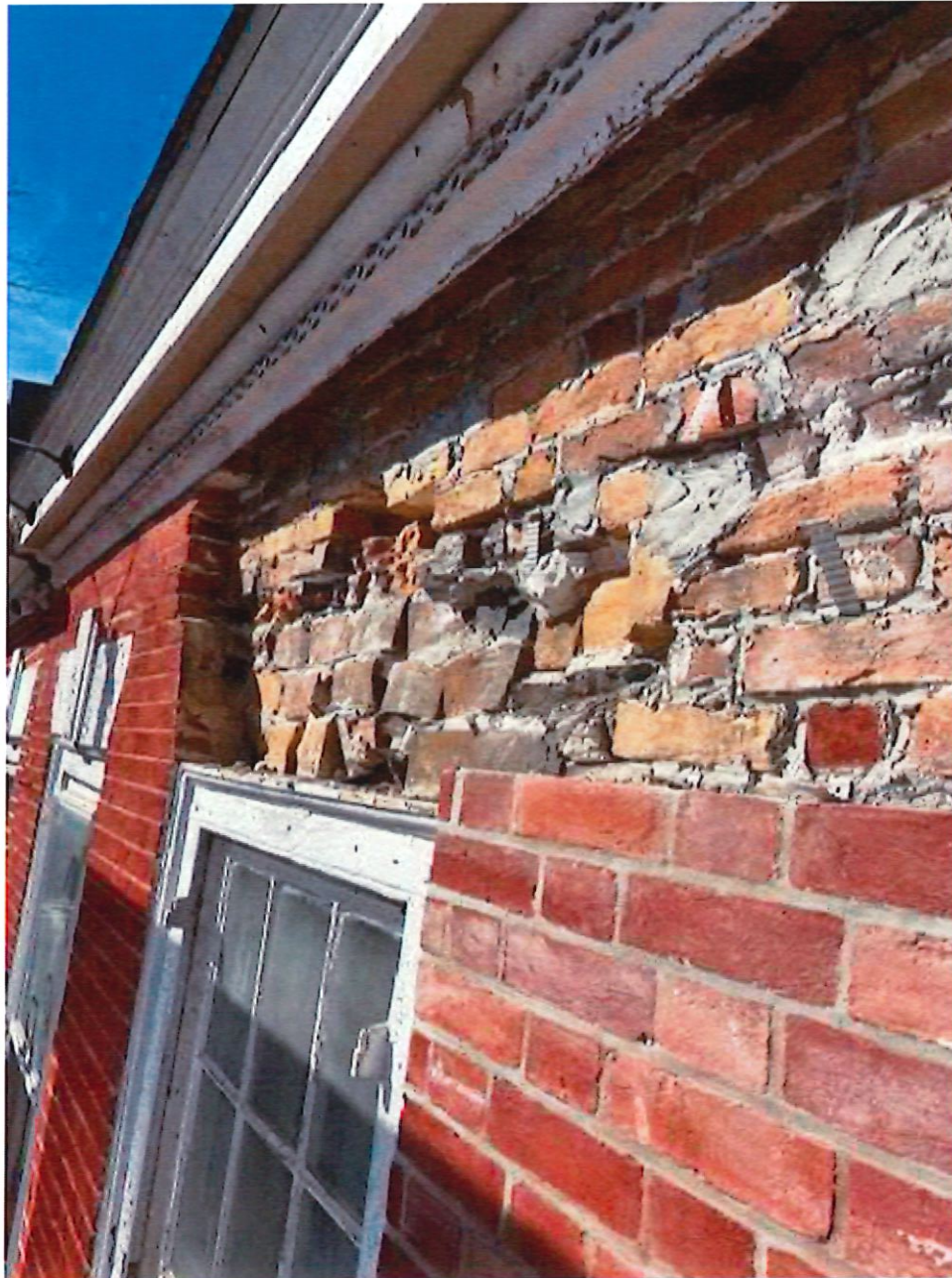


















TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 112 N Park Street

Applicant: Brandon Berman

Application Number: 2026-1661

Code Enforcement Case: Yes No - *Case #26-098: Installation of a handrail without a Certificate of Appropriateness*

Project Description:

The applicant is seeking after-the-fact approval for the installation of a vinyl handrail on the front porch steps. This request stems from a Code Enforcement (#26-0096) which was opened on February 27, 2026. This notice states that the applicant must either submit a historic district application or remove the handrail from the property.

Historic District Guidelines:

Guideline 65. Make Sensitive Replacements (Porches)

- a. Replace missing posts and railings where necessary to match size, shape, profile, proportion, and spacing to the historic feature.
- b. Use wood for porch details and structural parts, including steps, decking, and foundations, unless it can be documented that other materials were historically used on the house or used at an early date.**
- c. Alternate materials may be allowable on a on side or rear porches if the new material, size, scale, and overall appearance matches the historic feature.
- d. Front porches on contributing historic structures are held to a higher standard than side or rear porches.

Appendix B.2. Common Substitute Materials – Porch and Deck

Vinyl

Vinyl is another common material for replacement columns and railings, which are available in a variety of designs. **They are used for new construction and are most appropriate for buildings constructed in the late-20th century and later.** Like vinyl



windows, vinyl porch columns and railings are susceptible to fading and warping as a result of UV exposure and have a relatively short lifespan. The dimensions of vinyl columns typically do not match historic proportions or details and their use on historic buildings is discouraged.

Staff Analysis:

Appendix B.2 provides the most definitive guidance regarding the use of vinyl handrails within the Historic District. Given the structure's 1890 construction date, vinyl railing is considered inappropriate; per the guidelines, such materials are only compatible with structures built in the late 20th century or later. Furthermore, **Guideline 65b** identifies wood as the historically appropriate material for porch railings and decorative details for a home of this era. This is consistent with the immediate context of Goldsborough Street, where neighboring properties of similar vintage utilize wood or wrought iron for their front step railings.

Because this application follows an unpermitted installation (conducted without a Certificate of Appropriateness), the Town may issue an **Order to Restore** if a compatible alternative to the vinyl railing is not agreed upon. Such an order would require the property owner to restore the site to its documented condition prior to the unauthorized installation.

Draft Motions:

1. I move that the Historic District Commission **deny** the application based on the finding that the vinyl railing is inconsistent with the historic character of the 1890 structure and fails to comply with Guideline 65b and Appendix B.2 regarding appropriate materials.

OR

2. I move that the Historic District Commission **table** this application until the April 13th meeting, with the request that the applicant submit an amended proposal no later than March 30th featuring a historically compatible railing material.

OR

3. I move an alternate motion.



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101006924		112 N PARK ST		EBERHARD, ROBERT A			
YEAR BUILT		PHYSICAL CONDITION					
1890		FAIR ALTERED					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK				REAR			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		N	INTEGRITY
NOTES							
<p>AS WITH ITS NEIGHBOR #108 N. PARK, IN A BETTER, LESS ALTERED SETTING THIS MARGINAL MODERNIZED EXAMPLE OF A COMMON BLDG TYPE WOULD WARRANT DESIGNATION AS A CONTRIBUTING RESOURCE, BUT IN ADDITION TO ALTERATIONS, THE ENVIRONMENTAL SETTING IS CHANGED</p> <p>DUE TO DEMOLITION + NEW CONSTRUCTION OF A LARGE COMMERCIAL BLDG TWO MID 20TH C OUTBUILDINGS INCLUDING ONE THAT IS 2 STORIES</p>							

RECEIVED

HD 26 - 22

FEB 27 2026



TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

TOWN OF EASTON

Application #: 2026-1661
Date Received: 02/27/2026
Fee Paid: \$75.00
HDC Meeting Date: 03/23/2026
Date Property Posted: 03/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE (PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER
 NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 112 N Park St.
 Contributing Non-Contributing YEAR BUILT: 1890 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: Brandon Berman
 TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME: _____
 TELEPHONE NO. _____ EMAIL _____

Description of Proposal (include additional sheets, as necessary)

hand rail for centers policy - would not ensure w/o it.
casting 3 wood and PVC
painted white. see photo

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.
 If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item.
 Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: [Signature]
 Date: 2/27/26
 Printed Name of Applicant or Agent: Brandon Berman

Revised 4.4.2022





TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 406 August Street

Applicant: Christopher Gillen

Application Number: 2026-1665

Code Enforcement Case: Yes No

Project Description:

The applicant is seeking approval to construct a 12' wide by 14' deep one-story rear addition on a **contributing** structure. The addition will take the place of an existing rear deck which will need to be demolished. The addition will have three double hung windows on the rear elevation, three awning windows on the left elevation and French doors opening to a deck on the right elevation. Proposed materials for the project include the following:

- **Windows:** Anderson 400 Series (Vinyl-clad wood)
- **Siding:** CertainTeed "Cedar Impression "Double 7 Straight Edge Perfection Shingles (Vinyl)
- **Roof:** Architectural Asphalt Shingles
- **Doors:** Anderson 400 Series (Vinyl-clad wood)
- **Trim, Fascia & Soffit:** PVC (Azek)
- **Decking:** Composite Boards
- **Gutters:** Aluminum K-Style

Historic District Guidelines:

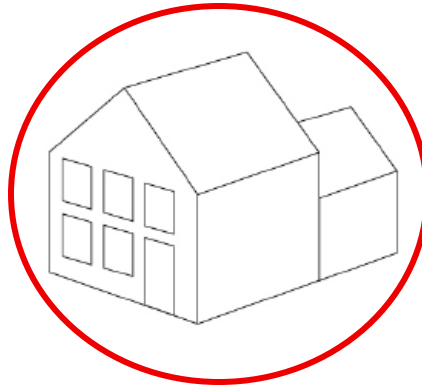
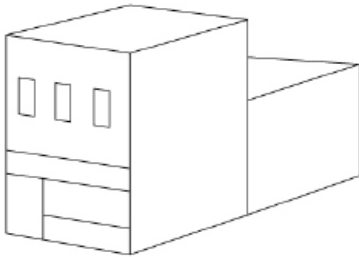
Guideline 100. Rear Additions

- a. Additions should be compatible with the massing and scale of the main building. In general, they should be the same or lower height as compared to the surrounding historic buildings.
- b. Additions should not imitate earlier architectural styles.

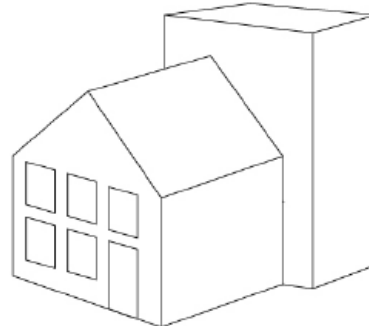
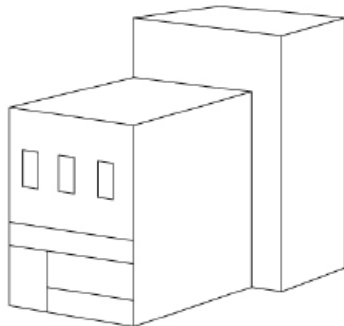


c. Materials for the new addition should complement or otherwise harmonize with the historic materials.

APPROPRIATE
REAR ADDITIONS



INAPPROPRIATE
REAR ADDITIONS



Guideline 103. Materials

- a. Exterior materials of a new buildings or addition should be compatible with surrounding buildings or the building to which it is attached.**
- b. Board siding, including wood and cementitious/fiber cement board, may be appropriate.
- c. Unpainted brick masonry is generally an appropriate material for exterior walls throughout the district.
- d. Stucco surfaces are generally most appropriate for rear or side elevations.
- e. Stone or pressed concrete block may be appropriate in some settings, or for some parts of façades.



Guideline 104. Vinyl Siding

The use of vinyl siding on new construction will be evaluated on a **case-by-case basis**. The HDC will **consider the surrounding historic context** in determining whether the use of vinyl siding at a particular building site is appropriate. **Vinyl siding may be acceptable if it meets the following specifications**

- a. Vinyl siding will be at least 0.042 inches thick, with a smooth, matte surface. Siding with faux wood grain is not appropriate.**
- b. Siding joints and seams are to be lapped toward the rear of the building, and joints must be staggered randomly to avoid a “stair step” appearance. Joints will be avoided in areas with spans of less than 12 feet in length.**
- c. All trim will be done with solid PVC or plastic composite lumber trim, using counter sunk finishing nails. All inside and outside corners must be trimmed using hard, dimensional PVC or composite materials. Trim details will be such that the “J” channels are hidden behind the trim board.**

Guideline 115. Roof Form

The roof shape of a new building should respect that of its neighbors. For example, in a street of buildings where gable end roofs predominate, introducing a different roof shape, such as a flat roof with an elaborate cornice would probably not be in keeping with the existing character of the street. **The roof shape of an addition should complement the shape of the roof of the building to which it is attached.**

- a. Roof forms should be consistent with and similar to adjacent buildings.
- b. Avoid constructing new buildings with roofs that vary significantly in shape or pitch.
- c. In general, the heights of cornices and parapets on new buildings should match those of adjacent buildings.

Guideline 116 Roof Material

- a. Roof material should generally be consistent with that of surrounding buildings.
- b. Roof colors, where visible, should be compatible with the color scheme of the new building and the surrounding area.

Guideline 117. Gutters and Downspouts



Gutters and downspouts are generally not character-defining features and most buildings within the historic district have gutters that are not visible from the main facades.

- a. Where possible, locate gutters so that they are obscured by parapets.
- b. Locate downspouts in inconspicuous locations on the façade.
- c. Half-round gutters and round downspouts are generally more appropriate than corrugated or “K-Style” gutters.

Guideline 127. Window Type

- a. Windows should match the character of the new building’s façade. Traditionally styled buildings should have traditional windows, while contemporary or modern style buildings should have modern windows.
- b. Vinyl windows are generally not manufactured in historic proportions and are not appropriate for use in the historic district.
- c. Wood, aluminum, aluminum clad wood, and fiberglass may be appropriate materials.

Appendix B.2 Common Substitute Materials (Windows)

Vinyl clad windows are similar to aluminum- and fiberglass-clad windows, in that they are wood or composite windows with a vinyl facing. Vinyl-clad windows are not paintable and are not typically repairable.

Vinyl clad windows may be appropriate for use in some properties constructed in the mid-20th century, on noncontributing buildings, or on nonvisible elevations (such as the rear or obscured side) or contributing buildings.

Staff Analysis:

The proposed location and general massing of the addition appear to be consistent with Guideline 100 as the addition is nearly identical to the appropriate example shown on page 120. This application proposes a number of modern materials that the Commission will need to evaluate for compatibility. Most notably, vinyl siding designed to mimic cedar shakes is proposed as well as vinyl-clad wood windows and doors, AZEK trim details, and composite decking material.

Draft Motions:

1. I move that the Historic District Commission **approve** the application based on the following findings...



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

OR

2. I move that the Historic District Commission **deny** the application based on the following findings...

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101018647		406 AUGUST ST		HUNTER, SHAUN D.			
YEAR BUILT		PHYSICAL CONDITION					
1910		VERY GOOD					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK							
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
1 OF A ROW OF 5 SIMILAR HOUSES 1/1 WINDOWS MAY BE WOOD SASH. ORIGINAL SURROUNDS ORIGINAL DOOR. RUSTICATED CONCRETE BLOCK FOUNDATION HISTORIC PORCH FABRIC. WOODEN SHINGLES ON EXTERIOR WALLS LG. MODERN OUTBUILDING.							

RECEIVED

MAR 06 2026

HD 26 - 04



TOWN OF EASTON TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #:	2026 - 1665
Date Received:	03/06/2026
Fee Paid:	\$75.00
HDC Meeting Date:	03/23/2026
Date Property Posted:	03/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS 406 AUGUST STREET EASTON MD 21601

Contributing Non-Contributing YEAR BUILT: @ 1910 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME CHRISTOPHER & MARY GILLEN

TELEPHONE NO. [REDACTED] EMAIL [REDACTED]

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME _____

TELEPHONE NO. _____ EMAIL _____

Description of Proposal (include additional sheets, as necessary)

CONVERT EXISTING DECK TO SUN ROOM

SEE ATTACHED DRAWINGS

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.
If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item.
Any modifications during review shall warrant an updated application.

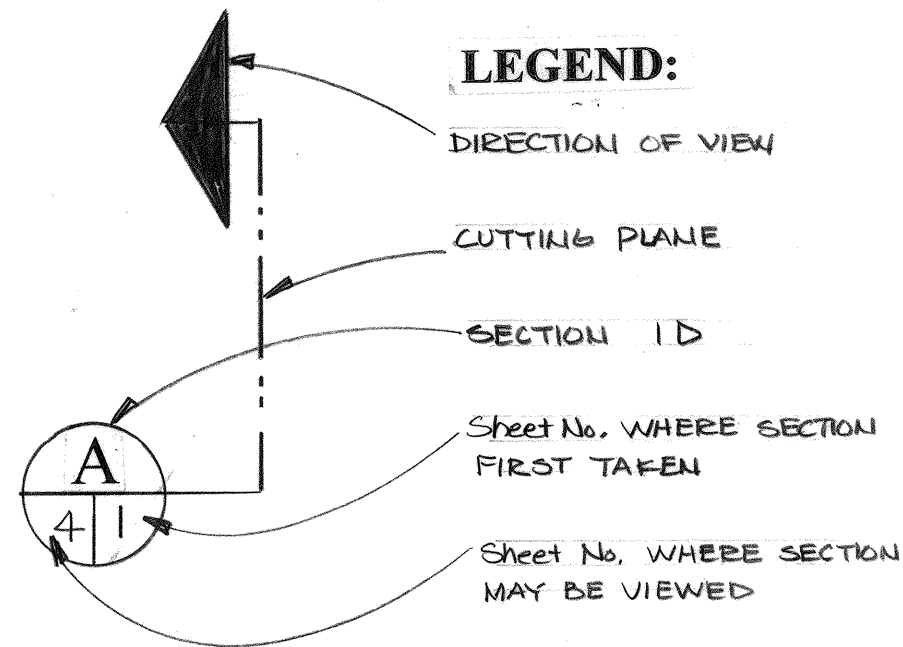
I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent Christopher Gillen

Date 03/06/26

Printed Name of Applicant or Agent CHRISTOPHER GILLEN

Revised 4.4.2022



NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PRE-EXISTING CONDITIONS & CIRCUMSTANCES.

EXISTING FOUNDATION STRUCTURES ARE TO REMAIN IN PLACE.

EXISTING DECK PLANKS SHALL BE REMOVED.

EXISTING FLOOR JOIST FRAMING SYSTEM SHALL BE DETACHED FROM EXISTING FOUNDATION PIERS AND REATTACHED ONTO A NEW BUILT-UP SILL PLATE STRUCTURE ON TOP OF EXISTING C.M.U. PIERS. (See Wall Section A)

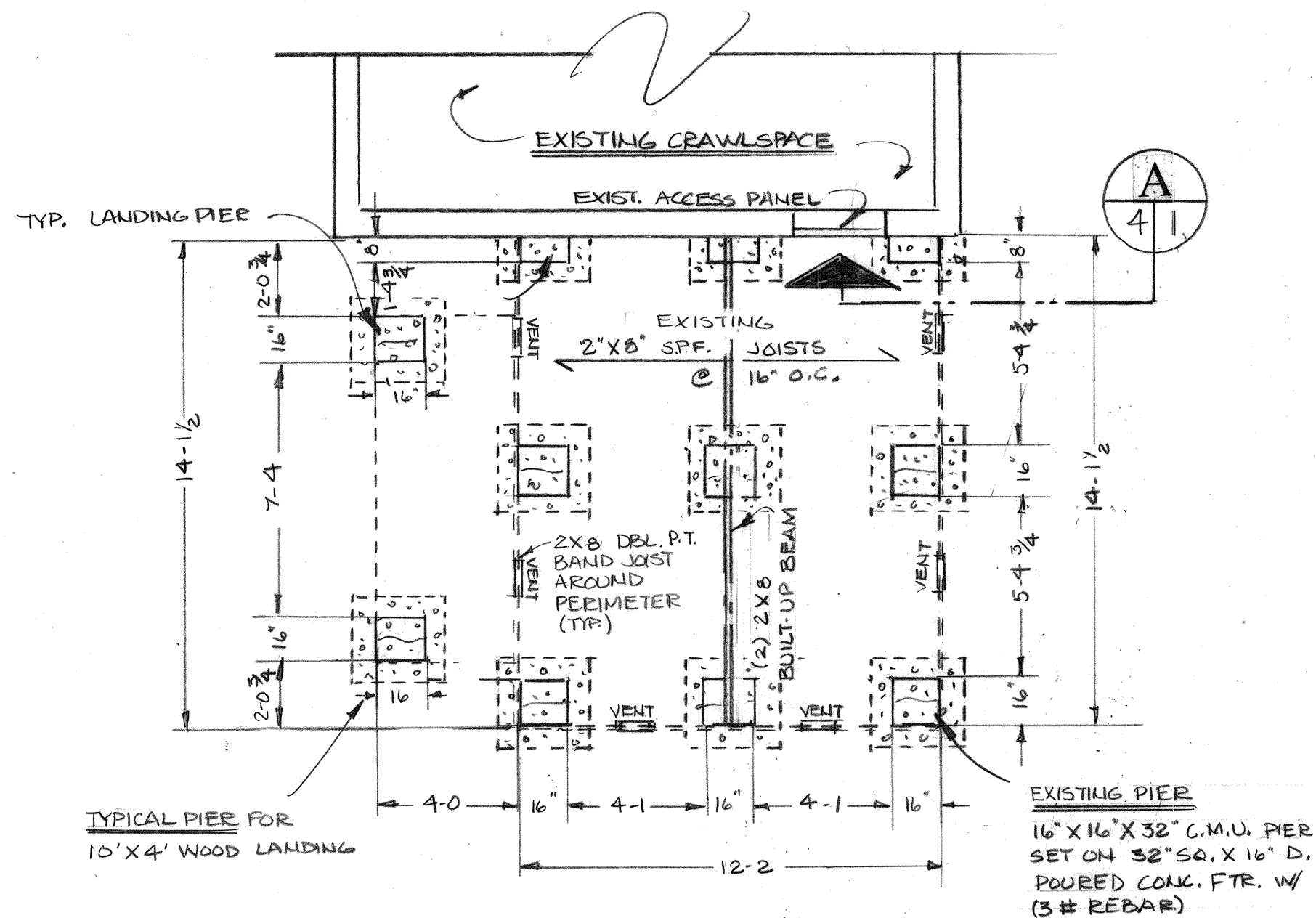
FINISHED FLOOR ELEVATION OF NEW SUNROOM SHALL BE MADE FLUSH AND LEVEL WITH EXISTING ADJACENT FINISHED FLOOR IN KITCHEN.

ALL NEW EXTERIOR WALLS SHALL BE 2" X 6" STUD FRAME CONSTRUCTION.

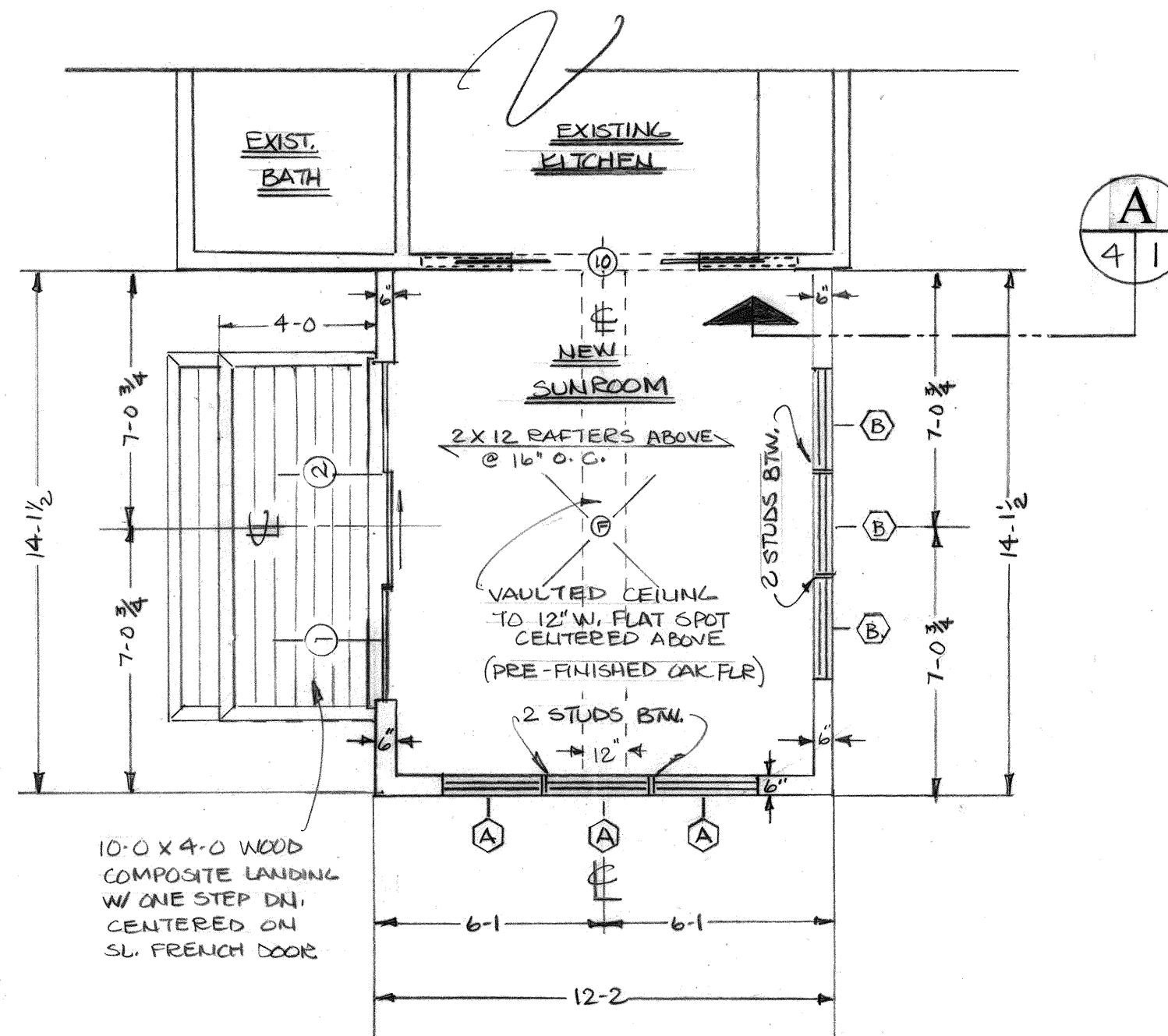
ALL INTERIOR TRIM DETAILS, CASINGS AND FINISHES IN NEW SUNROOM ADDITION SHALL MATCH THOSE IN EXISTING RESIDENCE IN QUALITY OF MATERIALS AND WORKMANSHIP.

ALL BUILDING MATERIALS AND ASSEMBLIES SHALL MEET OR EXCEED REQUIREMENTS OF 2024 IECC.

GILLEN SUNROOM WINDOW & DOOR SCHEDULE						
Andersen Windows 400 Series						
MARK	ROUGH OPENING	TYPE	U-factor	SHGC	ORDER	#
A	2-8 1/4 X 4-8 7/8	Double Hung 2/2	0.29	0.28	TW 2646	3
B	2-0 5/8 X 2-4 7/8	Awning 4 sq. Grille	0.31	0.28	AW21	3
Andersen Doors 400 Series						
MARK	ROUGH OPENING	TYPE	U-factor	SHGC	ORDER	#
1	3-2 3/4 X 6-8	Frenchwood Stationary Panel			FWG 3368 S	1
2	5-11 1/4 X 6-8	Frenchwood Gliding Patio Doors			FWG 6068 R	1
Interior Doors						
10	Door Size 5-0 X 6-8	Solid Wood 4 Paneled Pocket Pair	N/A	N/A	Special	1



FOUNDATION PLAN



FLOOR PLAN

Rev: 15 FEB 2026

PROPOSED SUNROOM ADDITION THE GILLEN RESIDENCE 406 August Street Easton, Maryland 21601	
DATE: 10 DECEMBER 2025	REV: 29 JAN 2026
SCALE: 1/4" = 1' = 0"	DRAWN BY: S. BRIGHAM
FOUNDATION & FLOOR PLAN	Sheet No. 1

NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PRE-EXISTING CIRCUMSTANCES.

NEW FINISHED FLOOR IN SUNROOM ADDITION SHALL BE FLUSH & LEVEL WITH ADJACENT FINISHED FLOOR IN EXISTING KITCHEN.

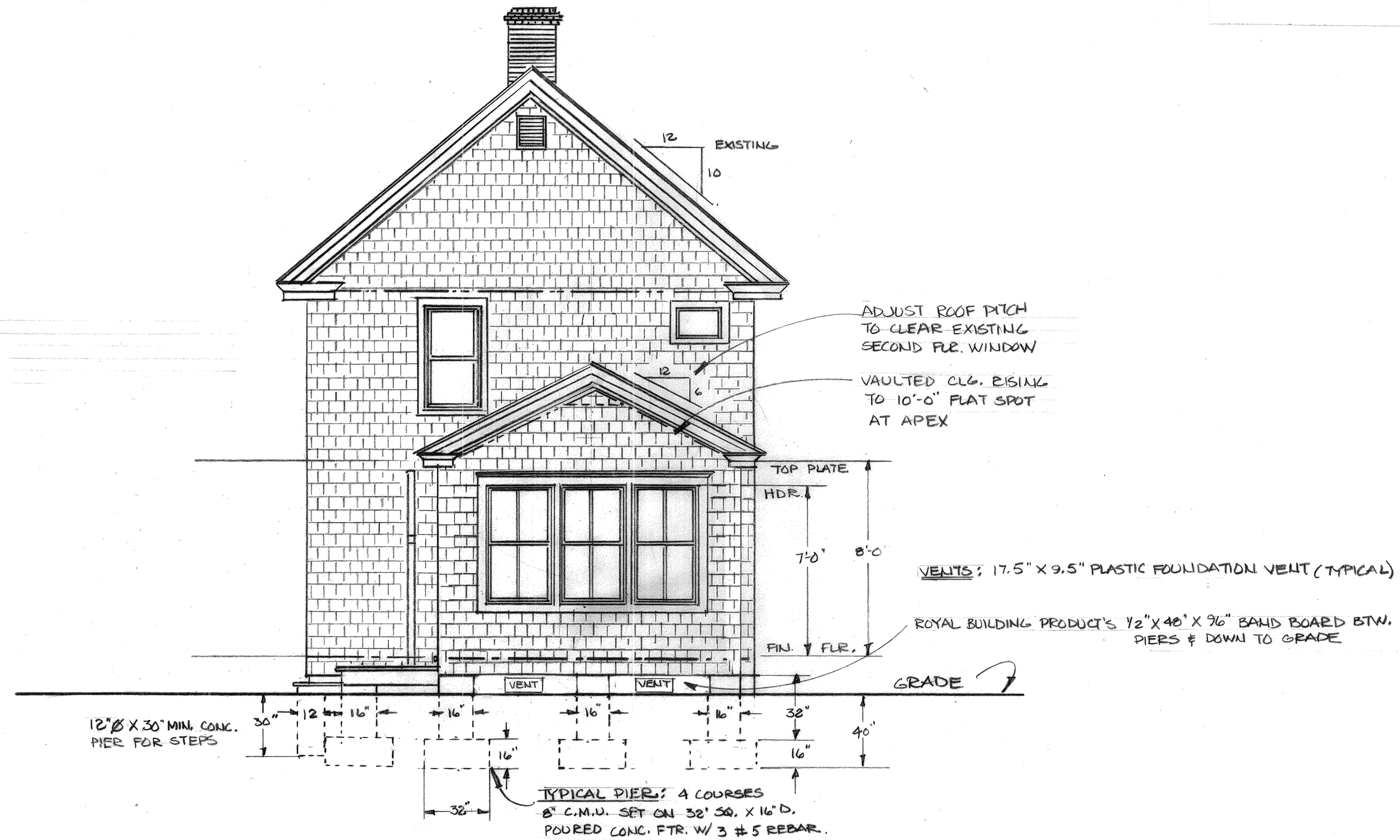
NEW TOP PLATE SHALL BE 8'-0" ABOVE RGH. FLOOR.

2X12 RAFTERS WILL RISE FROM TOP PLATE @ 6:12 PITCH TO MEET AT NEW RIDGE BOARD CONSTRUCTED W/ (2) 2X14.

ROOF RAFTER SLOPE MAY BE ADJUSTED AS NECESSARY TO CLEAR EXISTING SECOND FLOOR WINDOWS AND TRIM CASING.

EXTERIOR SIDING: CERTAINTED "Cedar Impressions" D7 Straight Edge Perfection 3G Shingles - Pacific Blue TO MATCH EXISTING.

EXTERIOR TRIM ELEMENTS & DETAILS TO MATCH THOSE EXISTING ELSEWHERE ON THE RESIDENCE AND BE MANUFACTURED BY AZEK OR AN EQUIVALENT COMPOSITE PRODUCT.



REAR ELEVATION

Rev: 15 FEB 2026

PROPOSED SUNROOM ADDITION
THE GILLEN RESIDENCE
406 August Street
Easton, Maryland 21601

DATE: 10 DECEMBER 2025

REV: 29 JAN 2026

SCALE: 1/4" = 1'-0"

DRAWN BY: S. BRIGHAM

REAR ELEVATION

Sheet No. 2

NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PRE-EXISTING CIRCUMSTANCES.

NEW FINISHED FLOOR IN SUNROOM ADDITION SHALL BE FLUSH & LEVEL WITH ADJACENT FINISHED FLOOR IN EXISTING KITCHEN.

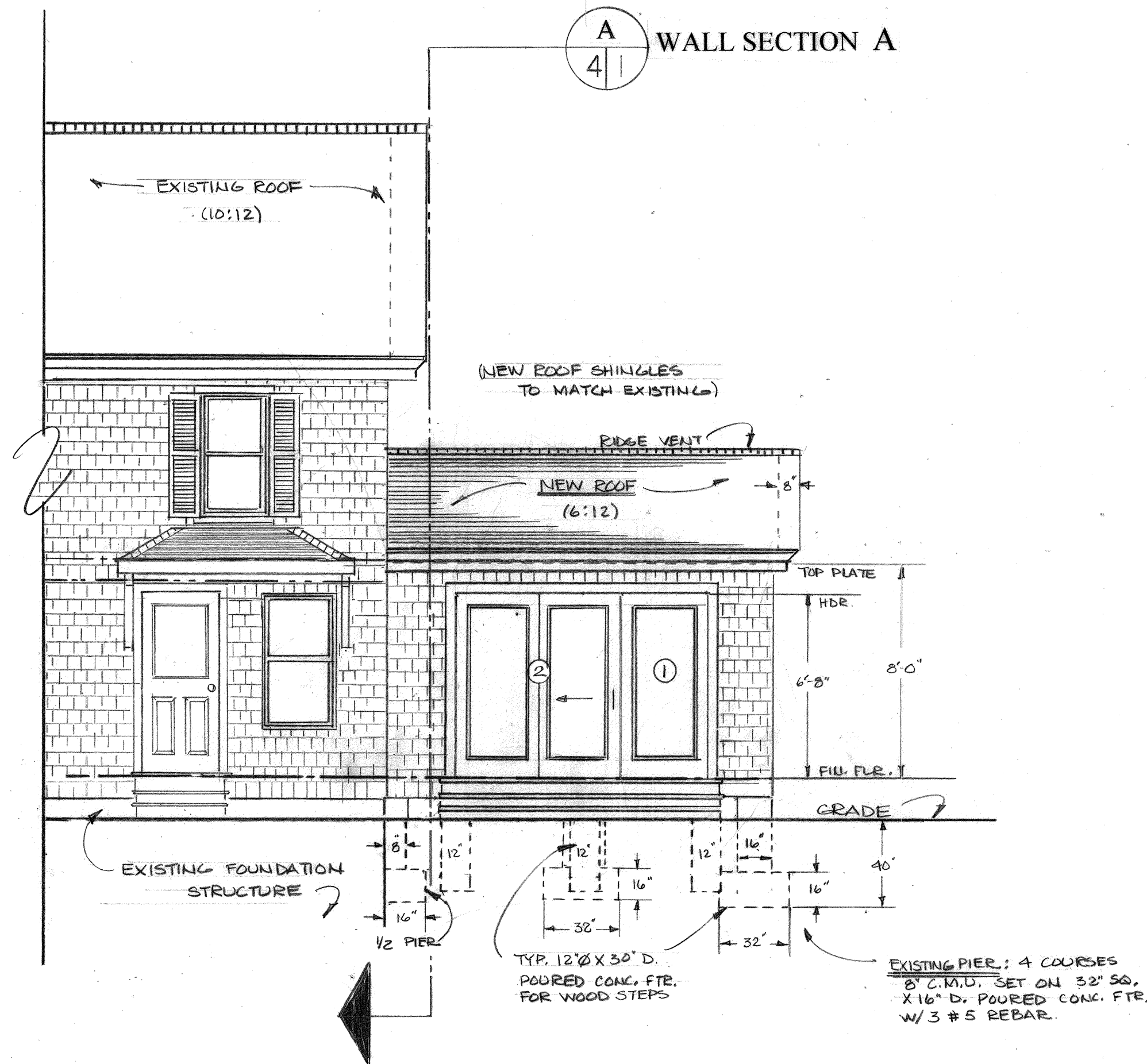
NEW TOP PLATE SHALL BE 8'-0" ABOVE RGH. FLOOR.

2X12 RAFTERS WILL RISE FROM TOP PLATE @ 6:12 PITCH TO MEET AT NEW RIDGE BOARD CONSTRUCTED W/ (2) 2X14.

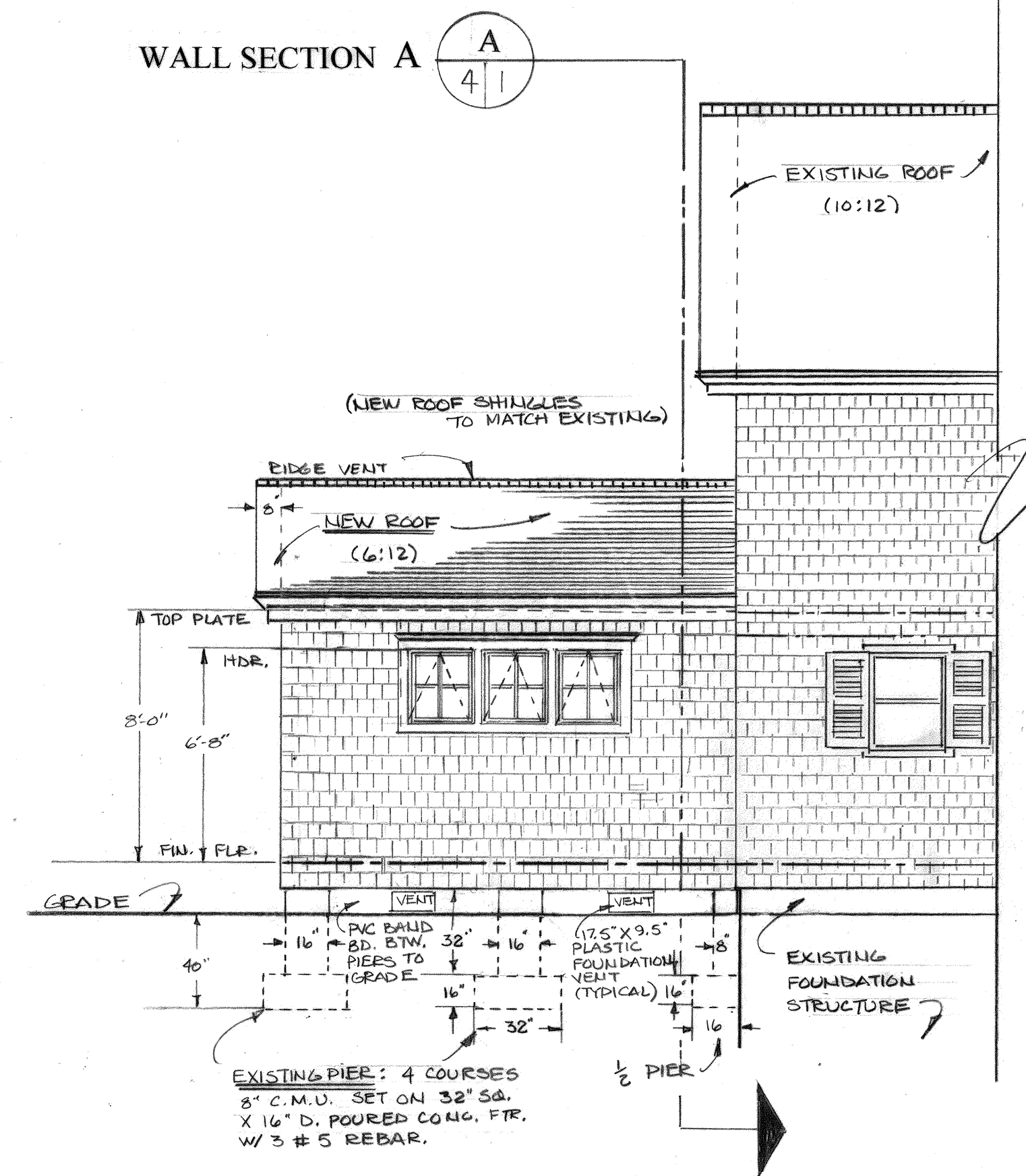
ROOF RAFTER SLOPE MAY BE ADJUSTED AS NECESSARY TO CLEAR EXISTING SECOND FLOOR WINDOWS AND TRIM CASING.

EXTERIOR SIDING: CERTAINTED "Cedar Impressions" D7 Straight Edge Perfection 3G Shingles - Pacific Blue TO MATCH EXISTING.

EXTERIOR TRIM ELEMENTS & DETAILS TO MATCH THOSE EXISTING ELSEWHERE ON THE RESIDENCE AND BE MANUFACTURED BY AZEK OR AN EQUIVALENT COMPOSITE PRODUCT.

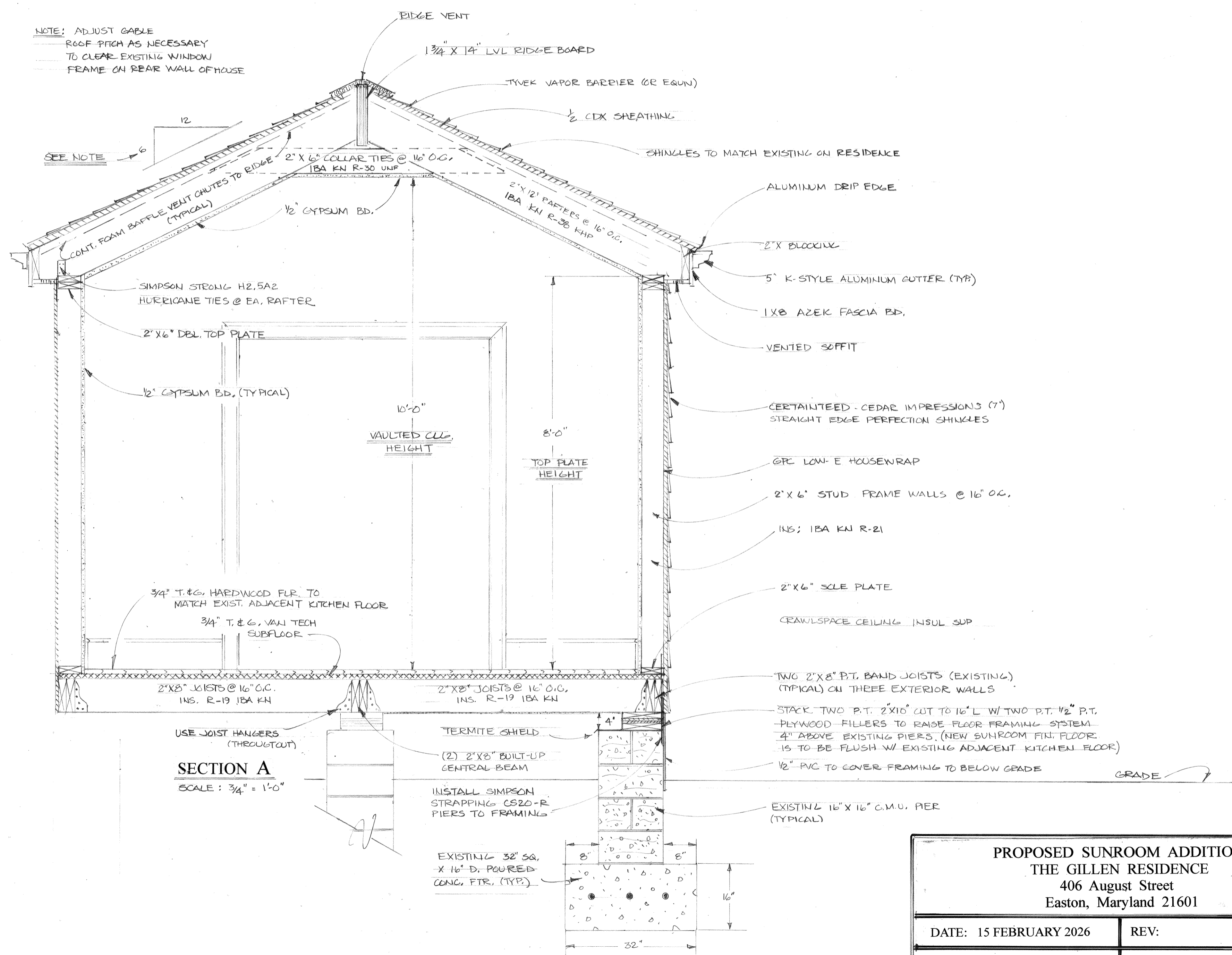


RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

PROPOSED SUNROOM ADDITION THE GILLEN RESIDENCE 406 August Street Easton, Maryland 21601	
DATE: 10 DECEMBER 2025	REV: 29 JAN 2026, 15 FEB.
SCALE: 1/4" = 1'-0"	DRAWN BY: S. BRIGHAM
RIGHT & LEFT SIDE ELEVATIONS	Sheet No. 3



NOTE: ADJUST GABLE
 ROOF PITCH AS NECESSARY
 TO CLEAR EXISTING WINDOW
 FRAME ON REAR WALL OF HOUSE

SECTION A
 SCALE: 3/4" = 1'-0"

SECTIONS & DETAILS

PROPOSED SUNROOM ADDITION THE GILLEN RESIDENCE 406 August Street Easton, Maryland 21601	
DATE: 15 FEBRUARY 2026	REV:
SCALE: AS SHOWN	DRAWN BY: S. BRIGHAM
SECTIONS & DETAILS	Sheet No. 4









Town of Easton
 Planning and Zoning
 14 S. Harrison Street Easton, MD 21601
 410-822-1943
HISTORIC DISTRICT COMMISSION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

Approval Date: February 12, 2026
Application Number: HD-26-1651
Location: 112 Talbot Street
Applicant: Adam J. Teets on behalf of Carol Feeney
Request: In-kind Asphalt Roof Replacement

The applicant, Adam Teets, requested approval for the replacement of an asphalt shingle roof at 112 Talbot Street. Once the existing asphalt shingles have been removed, new architectural asphalt shingles will be installed. No trim, fascia, soffit, or gutters will be replaced. Given that the request complies with §28-601.E.4.d of the Town of Easton Zoning Ordinance and the Easton Historic District Design Guidelines, the application is **approved as submitted**.

Historic District Guideline references: 2.5, 68, & 70

If the scope of work changes and or the materials and methods used are contrary to that understood by the application and any supplemental information provided, the work shall not continue until such time that the Commission is notified and said differences are considered and approved by the Commission.

“A Certificate of Appropriateness shall lapse upon the expiration of the corresponding Building Permit. For applications that require a building permit but for which none is issued, this Certificate of Appropriateness shall lapse two (2) years after issuance. In the event a building permit is not required, the Certificate of Appropriateness shall lapse two (2) years from its issuance if substantial work is not underway. For good cause shown, this period may be extended by the Commission”.

Prior to start of work please contact the Building Inspection Department at 410 822 2525 to ensure all required building permits have been obtained. Also, please reach out to the Building Inspection department to ensure your project complies with the Town of Easton’s building codes.

Nicholas Johnson

 Representative, Historic District Commission

2/12/2026

 Date



TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 112 Talbot Street

Applicant: Town and Country Roofing on behalf of Carol Feeny

Application Number: 2026-1666

Code Enforcement Case: Yes No

Project Description:

The applicant is requesting approval for roof replacement on two outbuildings as well as the front porch. Both outbuildings (one of which is historic) currently have corrugated metal roofs. The applicant is proposing to install a new metal roof (Panel- Loc Plus™). The front porch's standing seam metal roof will be replaced with a new standing seam metal roof (Horizon-Loc™).

Historic District Guidelines:

Metal Roofs:

Copper, lead and terne plate were common metal roof materials in the nineteenth century. In the early twentieth century, zinc and galvanized tin were also used to cover sloped roofs. The character of a metal roof is derived from the type of metal used, how it is finished and the method by which sections are joined together and attached to the roof's substructure. Copper, which weathers to a green patina, and lead, which weathers to a warm gray, is usually left unpainted. All other types of metal roofs should be painted to protect them from corrosion.

Guideline 70. Roof Material

Like roof shape, roof material, when visible, is often a character defining feature. Historic roofing materials include wood shingles, slate shingles, clay tiles, metal, and several types of membranes for flat roofs.

- a. Retain and repair visible historic roofing materials where feasible.



**TOWN OF EASTON
PLANNING & ZONING
14 S Harrison Street, Easton MD 21601**

- b. Where total replacement of all roofing material is required, the new roofing should match the existing material or be a roofing material that is consistent with the building's architectural style.
- c. Heavy-weight architectural shingles are preferred when existing asphalt shingles are replaced.
- d. Repairs to isolated portions of visible roofing materials must match the existing in material, size, style, texture, and color.
- e. **The specifications for a standing seam metal roof should be 1.5" (inches) or less for the rib seam height, the maximum panel width should be 16" (inches) or less, the panels should be flat, and the rib ends should be closed. Hip and ridge caps may be no wider than 6" (inches).**

Staff Analysis:

The proposed roofing material for the front porch meets the specifications for rib seam height (1"), and panel width (16"). However, the panels are manufactured with slight striations and are not flat as recommended by Guideline 70e. Also, the rib ends would not be closed unless Zee Closures are being installed.

Draft Motions:

1. I move that the Historic District Commission **table** the application pending the submission of a revised roofing material for the front porch that meets the specifications of Guideline 70e.

OR

2. I move that the Historic District Commission **deny** the application based on the following findings...

OR

3. I move that the Historic District Commission **approve** the application based on the following findings...



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101017519		112 TALBOT ST		BERSON, ANNE DEMILLE			
YEAR BUILT		PHYSICAL CONDITION					
1900		VERY GOOD					
ARCHITECTURAL STYLE				ADDITION(S)			
NATIONAL FOLK				REAR KITCHEN WING, RIGHT SIDE WING			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
RETAINS TRADITIONAL MASSING BUT DISPLAYS A GOOD DEAL OF MODERN MATERIAL INCLUDING SIDING AND PROBABLY REBUILT PORCH. 2/2 WINDOWS ALSO SEEM TO BE REPLACEMENTS. (MUNTIN PROFILE IS ODD) OUTBUILDING IS HISTORIC.							

RECEIVED

MAR 06 2026



TOWN OF EASTON TOWN OF EASTON
PLANNING AND ZONING
14 SOUTH HARRISON STREET, EASTON, MD 21601

Application #: 2026 - 1666
Date Received: 03/06/2026
Fee Paid: \$75.00
HDC Meeting Date: 03/23/2026
Date Property Posted: 03/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING
 DEMOLITION
 SIGNAGE
 FENCING
 OTHER
 NEW CONSTRUCTION/ADDITION
 EXTERIOR ALTERATIONS
 FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS: 112 TALBOT ST
 Contributing
 Non-Contributing
 YEAR BUILT: _____
 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME: CAROL FEONY
 TELEPHONE NO. [REDACTED]
 EMAIL: _____

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME: Town East Roofing
 TELEPHONE NO. [REDACTED]
 EMAIL: ON FILE

Description of Proposal (include additional sheets, as necessary)

Remove 2 OLD TILED ROOFS
Install metal roof per PANEL LOC PLUS
Remove front porch roof
Install HORIZONTAL LOC METAL ROOF

Specific Requirements

- The payment of fees is due at the time of application submittal.
As of July 1, 2025, the fees are as follows:
Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.
 If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item.
 Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent: [Signature]
 Date: 3/6/26
 Printed Name of Applicant or Agent: FRANK SAULOVSKY

Revised 4.4.2022



Black
PRIME

**Burnished
Slate**
PRIME

Charcoal
PRIME

Gray
PRIME

Brilliant
PRIME



Choose CentralGuard for the best protection and a lifetime warranty.

Horizon-Loc™

Color Selection Tool



26 GAUGE
CONCEALED FASTENER



centralstatesco.com

† Color variation between orders is normal and not cause for rejection. ‡ Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product. Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions. Color matching optimized for outdoor viewing.

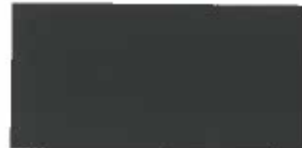
SHERWIN-WILLIAMS.
Coil Coatings

Sherwin-Williams® is a trademark of SWIMC LLC.

CHRT_HORL_240401

PREMIUM COLOR		
Matte Black PRIME FEVE Fluorinated Polymer Paint System	Copper Metallic† PRIME FEVE Fluorinated Polymer Paint System	Clear acrylic coating Galvalume®+ PRIME

Fern
PRIME



Forest
PRIME



Hunter
PRIME



Colony
PRIME



Crimson
PRIME



Rustic
PRIME



Gallery
PRIME



Brown
PRIME



Upgrade to Horizon-Loc for the ultimate protection from rain and snow.

Horizon-Loc gives you the beauty and protection of a standing seam panel at an affordable price. Its hidden fasteners give superior leak prevention and protection from rain and snow.

Horizon-Loc also features CentralGuard, our specific combination of everything that goes into making the highest-quality metal panels. The CentralGuard name guarantees that you have the best protection and a lifetime paint warranty.

Choose Horizon-Loc for the ultimate protection from rain and snow, plus the perfect balance of fade protection, rust blocking, and dent resistance.



Explore our visualizer.

Get started quickly with our preloaded photos, or upload your own photo. When you find the perfect combination of panel and color, you'll receive a summary of your project and have the option to connect with a local expert in your area to help you with your purchase and installation.

visualizer.centralstatesmfg.com

	PANEL-LOC PLUS PRIME CentralGuard	BEST LEAK PREVENTION HORIZON-LOC PRIME CentralGuard
LEAK PREVENTION		
Fasteners	Exposed	Hidden from elements
FADE PROTECTION		
Paint Warranty	LIFETIME	LIFETIME
Paint Thickness	1.0 mil	1.0 mil
Fade Warranty	30-YEAR	30-YEAR
Fade Protection	✓	✓
RUST BLOCKING		
Advanced Rust Blocking	✓	✓
Perforation Warranty	50-YEAR	50-YEAR
Substrate Thickness	1.60 mil	1.60 mil
DENT RESISTANCE		
Advanced Dent Resistance	✓	✓
Steel Thickness	THICK	THICKEST
Steel Gauge	29 ga.	26 ga.

Horizon-Loc features UL2218 approval for impact resistance and may qualify for a homeowners insurance discount. See your local insurance agent for qualifications.

Horizon-Loc™



Horizon-Loc™ Trim Selection Tool

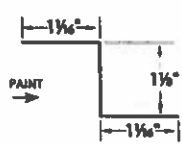


Unless otherwise noted, all trims are 26ga., hems are 1/2" closed, and all angles are 90° or 45°. Trim subject to change. A current product guide with dimension, girth and pitch information can be found at centralstatesmfg.com/marketing-resources

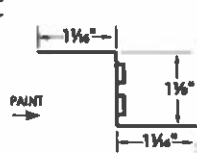
*Specify pitch when ordering.

CONCEALED FASTENER TRIMS

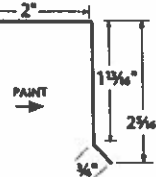
ZEE CLOSURE
HLZC



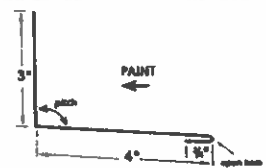
VENTED ZEE CLOSURE
HLVZC



CLEAT
HLCL

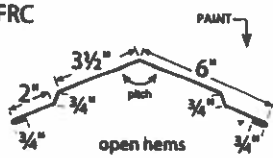


OPEN HEM SIDEWALL/ENDWALL*
CFSI



Use with zee closure

OPEN HEM RIDGECAP*
CFRC



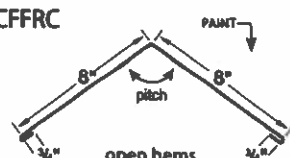
Use with zee closure

OPEN HEM WIDE RIDGECAP*
CFWRC



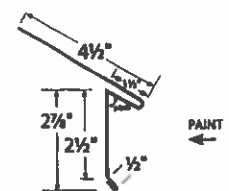
Use with zee closure

OPEN HEM FLAT RIDGECAP*
CFFRC

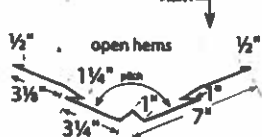


Use with zee closure

DRIP EDGE*
RDC



OPEN HEM VALLEY*
CFVT

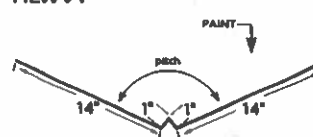


VALLEY*
VT1



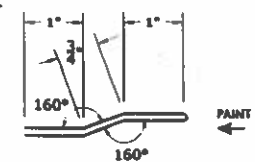
Use with valley cleat

WIDE VALLEY*
HLWVT

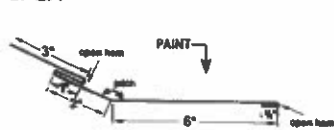


Use with valley cleat

OPEN HEM VALLEY CLEAT
HLVC

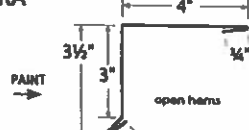


OPEN HEM GAMBREL*
CFGGA



Use with zee closure

OPEN HEM RAKE
CFRA



Use with zee closure and cleat

BUTYL TAPE
BTL - 24-rolls per box.



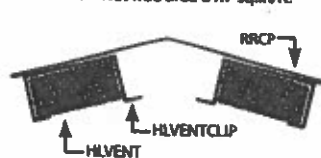
Rolls per box may vary by location and vendor.

Length 45'. Width 3/4". Thickness 3/32".

SEALANT - 10.3 oz. tube
GEO(color) - clear, gray, white
MRS10(color) - call for colors
MRS10CLEAR - clear

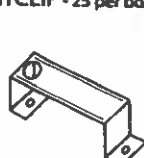


PROFILE RIDGE VENT
HLVENT - Net free area 31.7 sq.in/ft.



Length - 100'. Width - 3". Thickness - 1.375".

CLIP
HLVENTCLIP - 25 per box.



Use with HLVENT.

OUTSIDE CLOSURE With adhesive.
HLFCG - 100 per box.

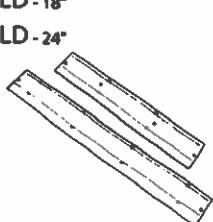


Length - 1". Width - 15.75". Thickness - 1".

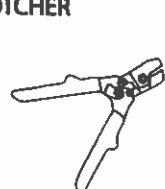
TOUCH UP PAINT
TP(color) - SMP, 0.6 oz. bottle w/brush.



FOLDING TOOL
18 FOLD - 18"
24 FOLD - 24"



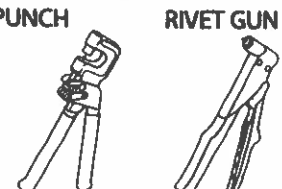
HAND NOTCHER
NOTCHER



HAND SEAMER
SEAMER - 6"



RIVET TOOLS
PUNCH RIVET GUN



Horizon-Loc™ Trim Selection Tool



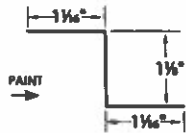
Unless otherwise noted, all trims are 26ga., hems are 1/2" closed, and all angles are 90° or 45°.

Trim subject to change. A current product guide with dimension, girth and pitch information can be found at centralstatesmfg.com/marketing-resources

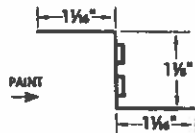
*Specify pitch when ordering.

EXPOSED FASTENER TRIMS

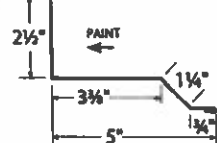
ZEE CLOSURE HLZC



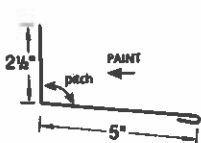
VENTED ZEE CLOSURE HLVZC



SIDEWALL TIE-IN HLSW

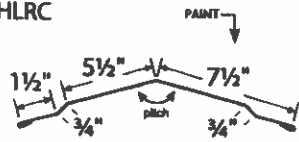


ENDWALL TIE-IN* HLEW



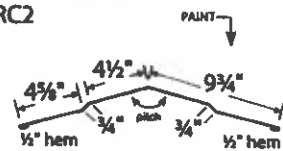
Use with zee closure

RIDGECAP* HLRC



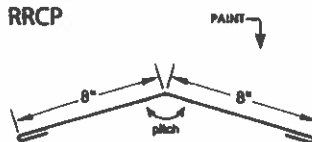
Use with zee closure

WIDE RIDGECAP* RC2



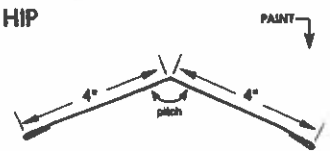
Use with zee closure

RESIDENTIAL RIDGECAP* RRCP



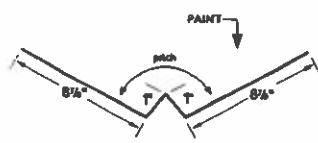
Use with zee closure

HIP CAP* HIP



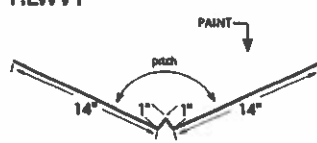
Use with zee closure

VALLEY* VT1



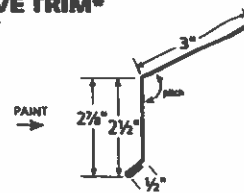
Optional valley cleat.

WIDE VALLEY* HLWT

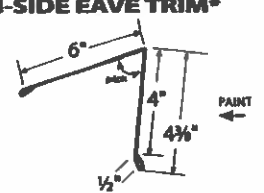


Optional valley cleat.

EAVE TRIM* RET

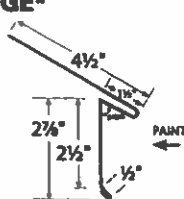


HIGH-SIDE EAVE TRIM* HLHS

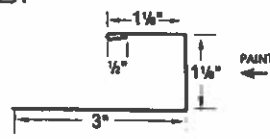


Use with zee closure

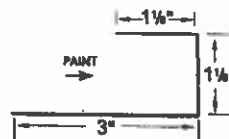
DRIP EDGE* RDC



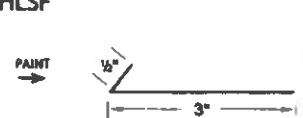
J-TRIM HLJT



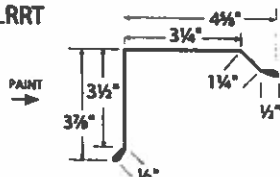
PANEL CAP HLPC



START/FINISH TRIM HLSF



RAKE TRIM HLRRT



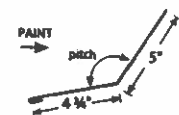
FASTENERS

Fastener color availability may vary by location, contact your sales consultant for details. Order fasteners in increments of 250 pieces.

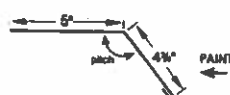
TYPE	PART #	LENGTH	DIAMETER	HEAD	COLOR	#BAG
LOW PROFILE WAVER HEAD	1WFAST	1"	#10	#2 Square drive	galvanized	250
LOW PROFILE WAVER HEAD	112WFAST	1 1/2"	#10	#2 Square drive	Galvanized	250
METAL/WOOD	1(color)MW	1"	#10	1/4" Hex	all	250
METAL/WOOD	112(color)MW	1 1/2"	#10	1/4" Hex	all	250
METAL/WOOD	2(color)MW	2"	#10	1/4" Hex	all	250
METAL/WOOD STITCH	34(color)ST	3/4"	#12	1/4" Hex	all	250
METAL/METAL LAP	78(color)LAP	7/8"	#14	5/16" Hex	all	250
POP RIVET	POP(color)		1/4"		all	100

GAMBREL TRIM*

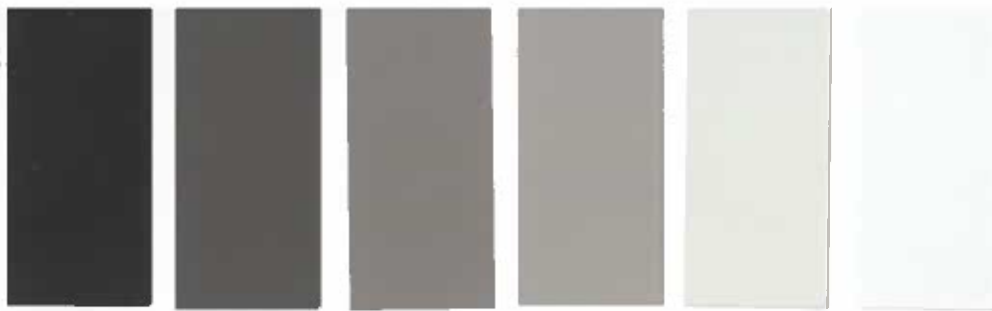
LOWER GTL



UPPER GTU



Use with valley cleat.



Black
STANDARD | PRIME | ULTRA

ULTRA may not be available in all locations.

Charcoal
STANDARD | PRIME | ULTRA

Pewter
PRIME

Trim in 29 ga. only.

Gray
STANDARD | PRIME | ULTRA

Alamo
STANDARD | PRIME | ULTRA

Trim in 29 ga. only.

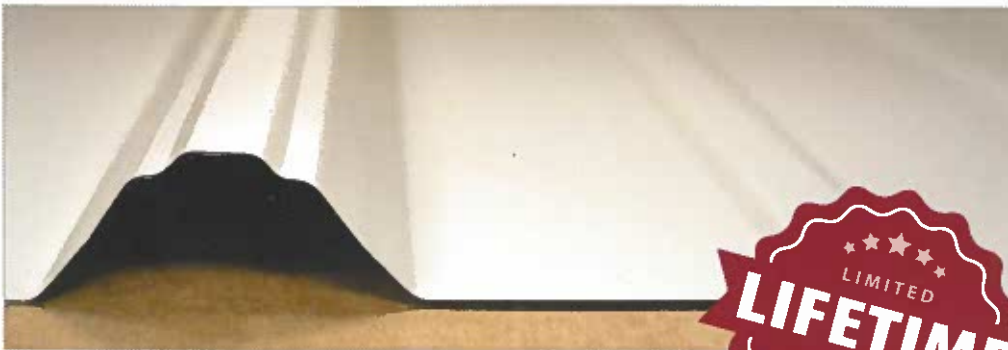
Brilliant
STANDARD | PRIME | ULTRA



Choose CentralGuard for the best protection and a lifetime warranty.

Panel-Loc Plus™

Color Selection Tool



centralstatesco.com

*Contact your salesperson for accurate pricing. † Color variation between orders is normal and not cause for rejection. ‡ Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product.

Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions. Color matching optimized for outdoor viewing.

CHRT_PLPL_240410

SHERWIN-WILLIAMS.
Coil Coatings

Sherwin-Williams® is a trademark of SWIMC LLC.

Forest
STANDARD | PRIME | ULTRA



Hunter
STANDARD | PRIME | ULTRA



Colony
PRIME

Trim gauge varies by location



Crimson
PRIME | ULTRA



Rustic
STANDARD | PRIME | ULTRA



Burgundy
STANDARD | PRIME | ULTRA



Gallery
PRIME | ULTRA



Ocean
PRIME | ULTRA

Trim in 29 ga. only.

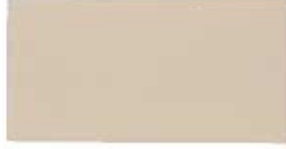


Ivory
PRIME

Trim in 29 ga. only.



Light Stone
STANDARD | PRIME | ULTRA



Desert
PRIME

Trim in 26 ga. only.



Taupe
STANDARD | PRIME | ULTRA



Copper Metallic†
PRIME

FEVE

Fluorinated Polymer Paint System

Clear acrylic coating

Galvanized‡
STANDARD | PRIME | ULTRA

Clear acrylic coating

Galvalume®‡
STANDARD | PRIME | ULTRA

Burnished Slate
STANDARD | PRIME | ULTRA

Brown
STANDARD | PRIME | ULTRA

Tan
STANDARD | PRIME | ULTRA

Choose CentralGuard® for the best protection and a lifetime warranty.

CentralGuard is our specific combination of everything that goes into making the highest-quality metal panels. Available on our Prime and Ultra panels, the CentralGuard name guarantees that you have the best protection and a lifetime paint warranty.

Choose CentralGuard for the perfect balance of fade protection, rust blocking, and dent resistance.

	STANDARD	PRIME CentralGuard	ULTRA CentralGuard
FADE PROTECTION			
Paint Warranty	40-YEAR	LIFETIME	LIFETIME
Paint Thickness	THICK .90 mil	THICKER 1.0 mil	THICKER 1.0 mil
Fade Warranty	30-YEAR	30-YEAR	30-YEAR
Fade Protection	✓	✓	✓
RUST BLOCKING			
Advanced Rust Blocking	—	✓	✓
Perforation Warranty	—	50-YEAR	50-YEAR
Substrate Thickness	1.12 mil	1.60 mil	1.60 mil
Substrate Coating	AZ35**	Galvalume	Galvalume
DENT RESISTANCE			
Advanced Dent Resistance	—	✓	✓✓
Steel Thickness	THIN	THICK	THICKEST
Steel Gauge	29 ga.	29 ga.	26 ga.

OUR BEST
SELLER!

*Panel-Loc Plus features UL2218 approval for impact resistance and may qualify for a homeowners insurance discount. See your local insurance agent for qualifications.
** Check with your local permitting office for restrictions and qualifications.*



Explore our visualizer.

Get started quickly with our preloaded photos, or upload your own photo. When you find the perfect combination of panel and color, you'll receive a summary of your project and have the option to connect with a local expert in your area to help you with your purchase and installation.

visualizer.centralstatesmfg.com

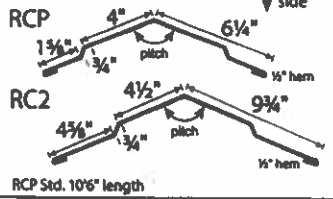
Panel-Loc Plus™



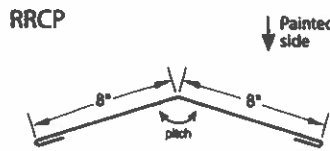
Standard trim length 10'2" unless otherwise noted. All angles are 90° or 45° unless otherwise noted. Check product guide for girth and pitch. All hems are closed unless otherwise noted. Trims subject to change. See current product guide at www.CentralStatesMfg.com for current dimensions.

*Specify pitch when ordering.

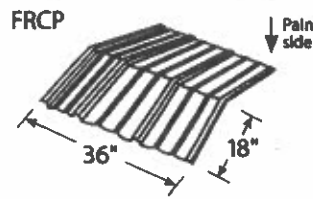
RIDGE CAP*



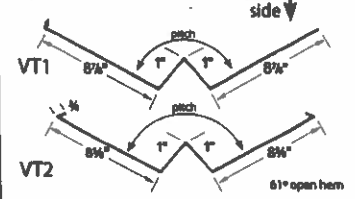
RESIDENTIAL RIDGE CAP*



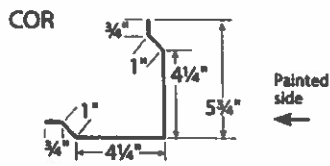
FORMED RIDGE CAP*



VALLEY*

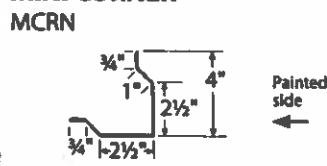


RAKE & CORNER

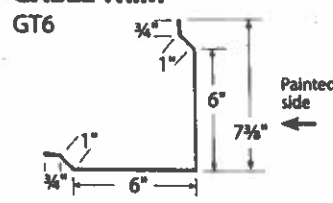


Std. 10'0", 12'0", 14'0", 16'0", 18'0", or 20'0" length

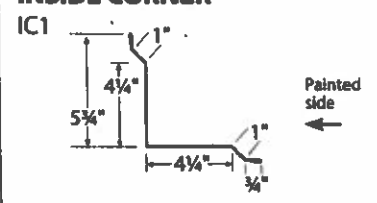
MINI CORNER



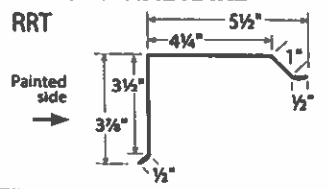
GABLE TRIM



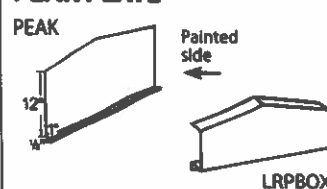
INSIDE CORNER



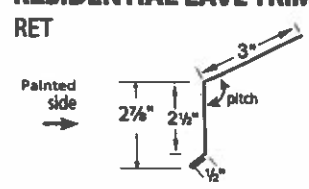
RESIDENTIAL RAKE



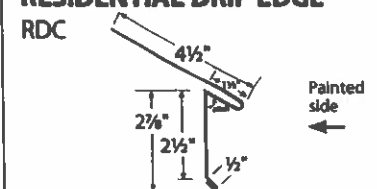
PEAK PLATE*



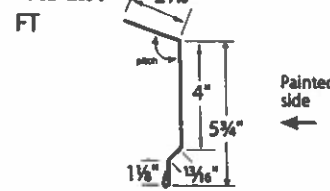
RESIDENTIAL EAVE TRIM*



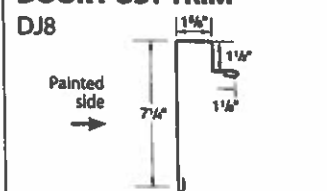
RESIDENTIAL DRIP EDGE*



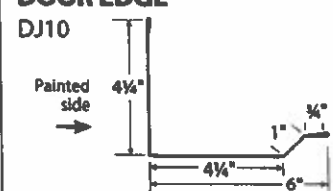
FASCIA*



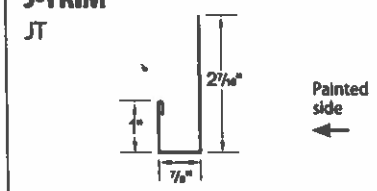
DOOR POST TRIM



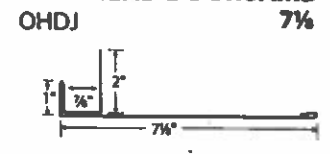
DOOR EDGE



J-TRIM

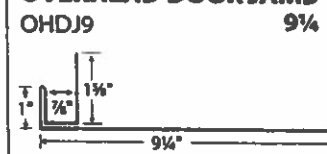


OVERHEAD DOOR JAMB



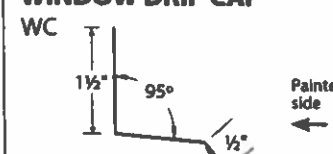
Std. 10'2", 12'2", 14'2", or 16'2" length

OVERHEAD DOOR JAMB

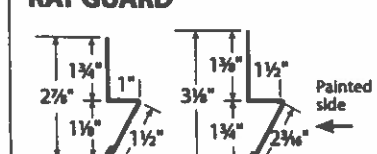


Std. 10'2" or 16'2" length

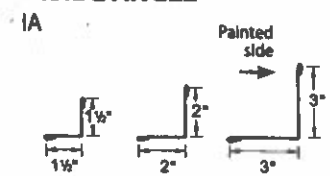
WINDOW DRIP CAP



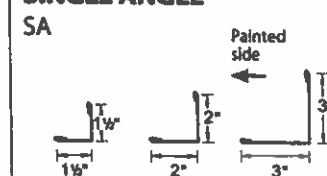
RAT GUARD



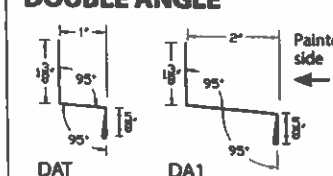
INSIDE ANGLE



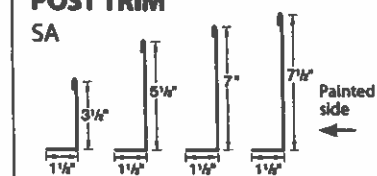
SINGLE ANGLE



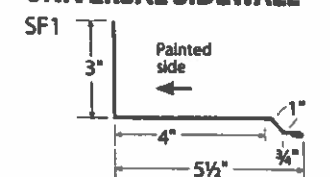
DOUBLE ANGLE



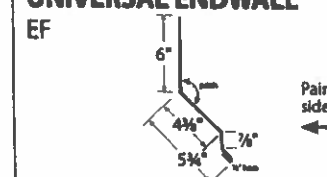
POST TRIM



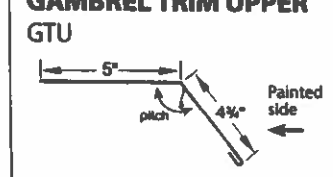
UNIVERSAL SIDEWALL



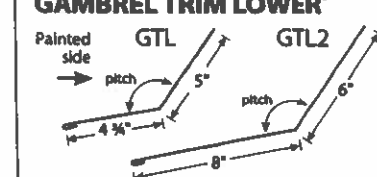
UNIVERSAL ENDWALL*



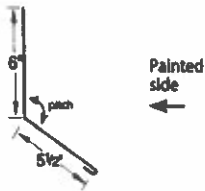
GAMBREL TRIM UPPER*



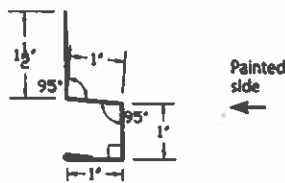
GAMBREL TRIM LOWER*



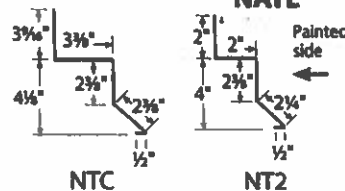
ENDWALL FLASHING*
EFF



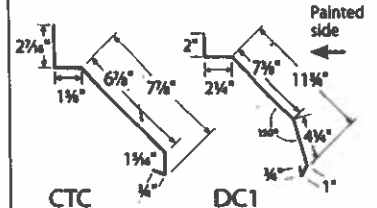
SQUARE BASE
SBA



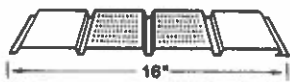
SQUARE TRACK COVER
NATL



ROUND TRACK COVER

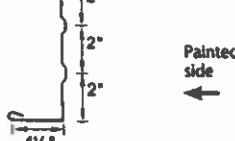


ALUMINUM SOFFIT
VENTED - VS
SOLID - SS
Std. 12' length



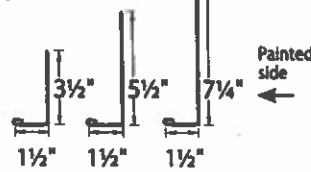
Product may not be available in all locations.

BEADED FASCIA
BFT

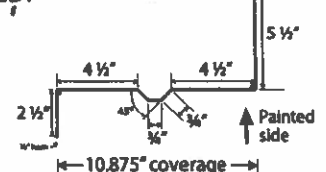


Product may not be available in all locations.

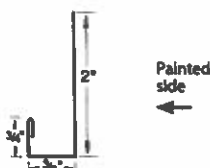
RESIDENTIAL FASCIA TRIM
RFT



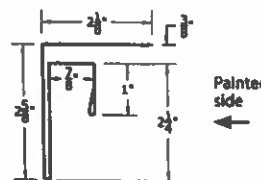
GABLE BASE SOFFIT
GB1



SOFFIT J-TRIM
SJT

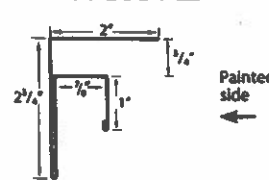


SOFFIT F&J
SFJ



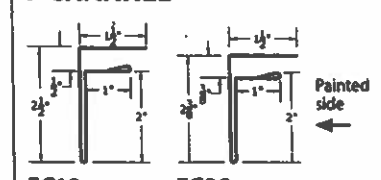
For aluminum soffit

PANEL-LOC PLUS F&J
PFJ



For Panel-Loc Plus™ as soffit

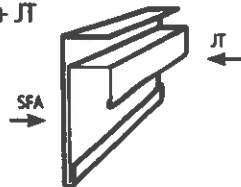
F CHANNEL



SOFFIT F ADAPTER
SFA



F&J ASSEMBLY
SFA + JT



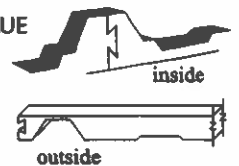
DOOR SET
3068DR (w/STEEL JAMB)



KNOB
sold separately

CLOSURES
CLOUT+GLUE
CLIN+GLUE

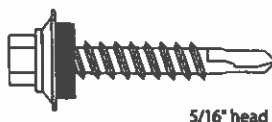
Vented closures also available.



METAL/WOOD SCREW #10
1(color)MW
112(color)MW
2(color)MW



METAL/METAL SCREW #12
114(color)MM
22MM



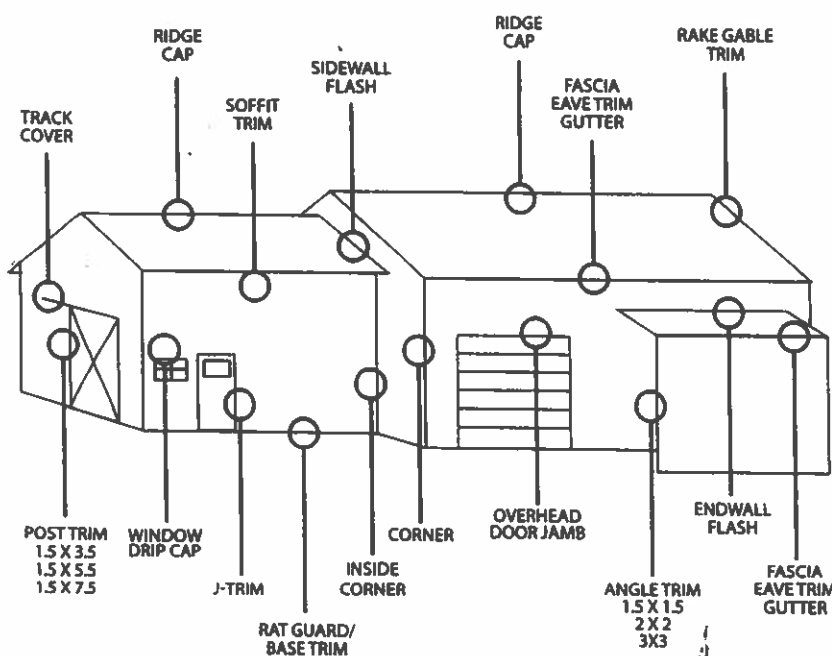
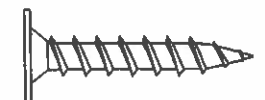
STITCH SCREW #12
34(COLOR)ST



LAP SCREW #14
78(COLOR)LAP

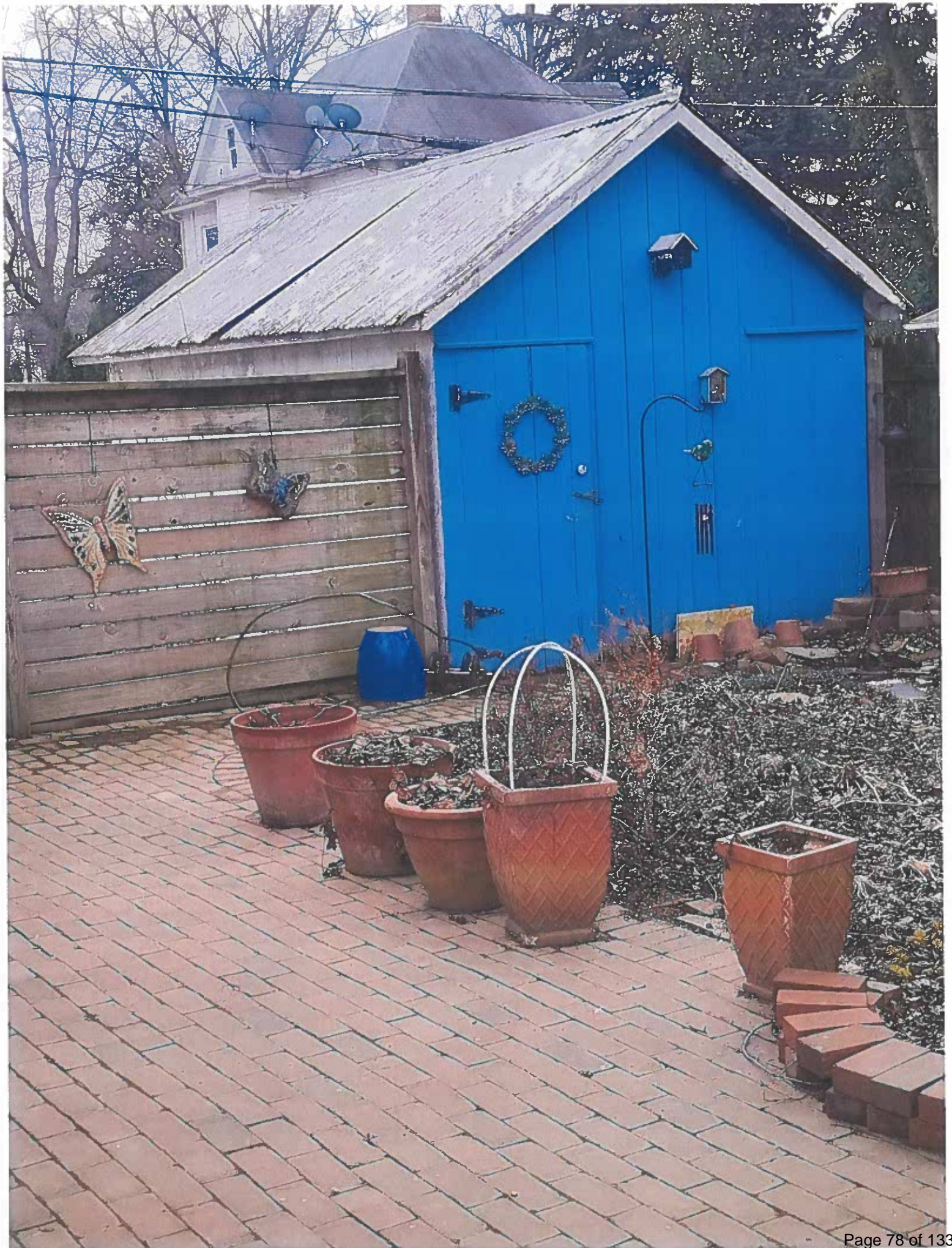


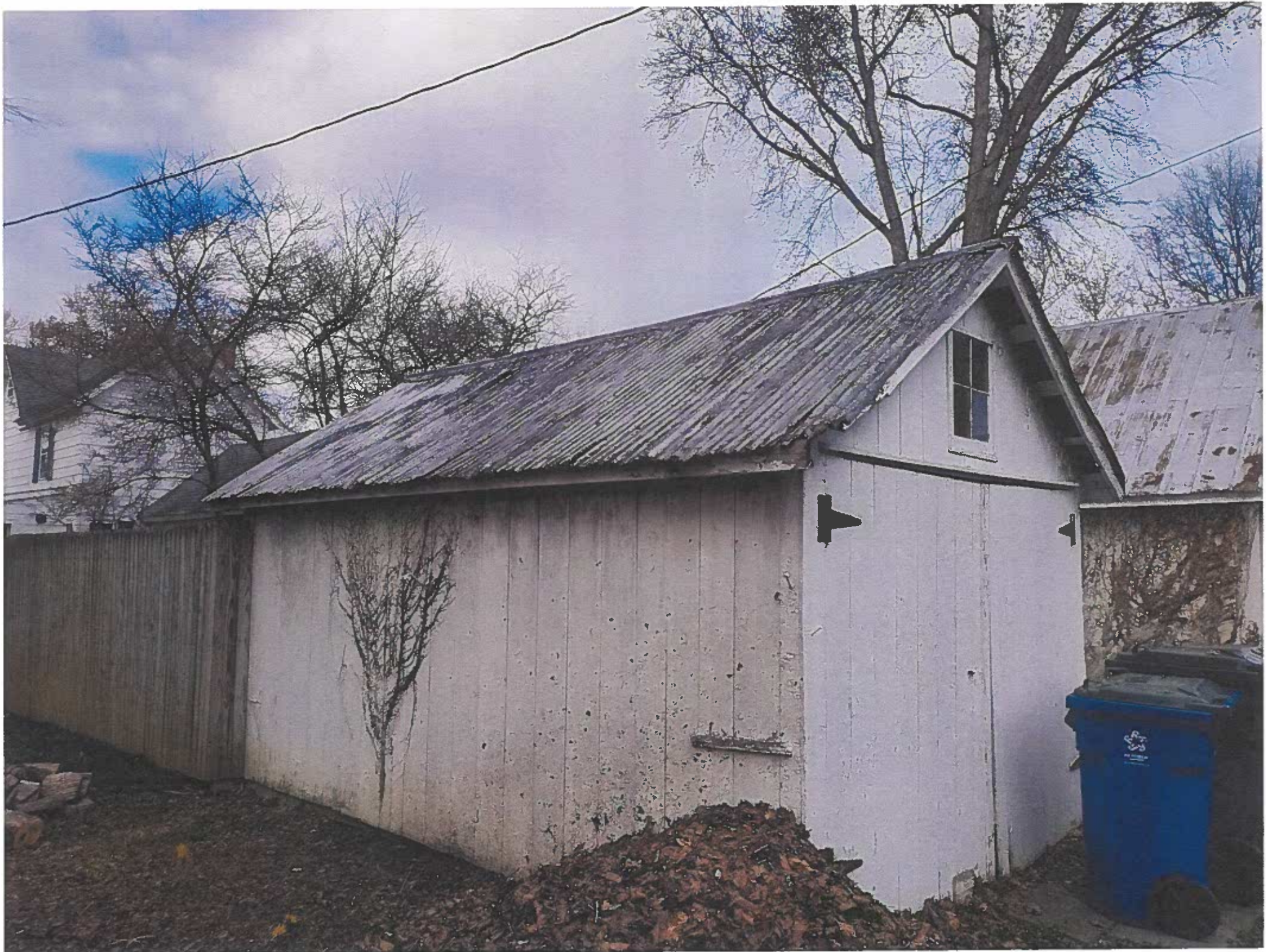
LOW PROFILE
WAVER HEAD SCREW
SSR1WOOD



ACCESSORIES

- Skylights - Panel & Ridgcap
- Gutters
- Master Pipe Flashing
- Universal Polyfoam
- Flexovent
- Grayflex
- Touch Up Paint
- Butyl Tape
- Sealant













**TOWN OF EASTON
PLANNING & ZONING**
14 S Harrison Street, Easton MD 21601

Historic District Commission Staff Report

Meeting Date: 3/23/2026

Staff Contact: Nicholas Johnson AICP, Town Planner, njohnson@eastonmd.gov

Property Address: 502 Goldsborough Street

Applicant: Laurie Cheamitru

Application Number: 2025-1667

Code Enforcement Case: Yes No

Project Description:

The applicant is proposing the replacement of an existing wood front door with a nearly identical wood door. The proposed door closely mimics the existing non-original door in design with recessed panels and a six light glass panel. The existing door replaced another non-original door (*Figure 1*) which itself was a replacement for the likely historic door (*Figure 2*).



Figure 1 2007 Photograph



Figure 2 2004 Photograph

Historic District Guidelines:

Guideline 42. Make Sensitive Replacements (Doors)

- b. Replacement doors should be compatible with the overall character of the façade in which they are located.
- c. Doors located on the front façade of historic properties are typically solid wood. Replacement doors for front façades should be wood. Alternative materials, provided they are smooth and painted, may be used for doors located on the sides or rear of the property. See Appendix B for additional information on Substitute Materials.

Guideline 43. Restore Missing or Inappropriately Altered Doors

- a. Replace inappropriately designed, non-original doors or surrounds with an appropriately designed door or surround based on documentary or photographic evidence. If no such evidence exists, the design of the replacement door or surround should be complimentary to the character of the façade in which it is located. A simple design is often best.
- b. Avoid using inappropriately detailed replacement doors, such as solid doors for the main entries to commercial buildings, or ones that are not in keeping with the character of a residential building.



Draft Motions:

1. I move that the Historic District Commission **approve** the application as submitted

OR

2. I move that the Historic District Commission deny the application based on the following findings...

OR

3. I move an alternate motion.



TOWN OF EASTON
PLANNING & ZONING
 14 S Harrison Street, Easton MD 21601

Appendix A: 2012 Easton Historic District Survey Sheet

EASTON HISTORIC DISTRICT SURVEY

PROPERTY #:

Picture:



TAX ID		ADDRESS		OWNER NAME			
2101005677		502 GOLDSBOROUGH ST		HERSHEY, STEVEN E			
YEAR BUILT		PHYSICAL CONDITION					
1900		EXCELLENT-ALTERED					
ARCHITECTURAL STYLE				ADDITION(S)			
				SMALL LEFT-SIDE SHED			
NHL DISTRICT	NR DISTRICT	NR LISTED	MEETS NR CRITERIA	1980 NR RATING	MD INVENTORY	CONTRIBUTING	NC CODE
				B		Y	
NOTES							
EXCEPT FOR THE FISH SCALE SHINGLES IN GABLE THIS LOOKS MORE LIKE A NEW HOUSE BUILT ON A TRADITIONAL PLAN. CONTRIBUTES DUE TO SETTING, LOCATION + ASSOCIATION. MARGINAL LEVEL OF CONTRIBUTION.							



TOWN OF EASTON
 PLANNING AND ZONING
 14 SOUTH HARRISON STREET, EASTON, MD 21601

HD 26 - 26

Application #: 2026 - 1667
Date Received: 03/09/2026
Fee Paid: \$75.00
HDC Meeting Date: 03/23/2026
Date Property Posted: 03/16/2026

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE
(PLEASE CIRCLE)

ROOFING DEMOLITION SIGNAGE FENCING OTHER

NEW CONSTRUCTION/ADDITION EXTERIOR ALTERATIONS

FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

ADDRESS 502 Goldsborough St Easton MD

Contributing Non-Contributing YEAR BUILT: 1900 NATIONAL REGISTAR # _____

PROPERTY INFORMATION

OWNER NAME Laurie Cheamitru

TELEPHONE NO. _____ EMAIL _____

Applicant or Agent (If other than property owner, written authorization from owner is required.)

NAME _____

TELEPHONE NO. _____ EMAIL _____

Description of Proposal (include additional sheets, as necessary)

front door replacement due to water damage

Specific Requirements

- The payment of fees is due at the time of application submittal.
 As of July 1, 2025, the fees are as follows:
 Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
- Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
- Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
- Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent Laurie Cheamitru

Date 3/6/26

Printed Name of Applicant or Agent Laurie Cheamitru



Historic District Commission Application Checklist

Revised April 2022

Please complete the section that applies to your application. If a checklist item is not included or is non-applicable, please provide information supporting its omission for the Commission's consideration.

Requirements:

The payment of fees is due at the time of application submittal. As of July 1, 2025, the fees are as follows: **Commercial - \$200, Residential - \$75, Signs - \$75, Staff Approval - \$25.**

The application submitted shall include 2 paper copies plus 1 digital.

All Applications to Include:

- A narrative fully explaining the request
- Photographs of all existing conditions and that will be affected by the proposed project
- Description of all existing materials and a listing of all materials to be used for proposed project.
- Manufacturer cut-sheets and material specifications related to all proposed work.
- Any available and applicable historical photographs, sketches or other documentary evidence illustrating previous conditions and configurations of the building(s) *N/A*
- Written authorization from the property owner authorizing the applicant to apply on their behalf. *N/A*

New Construction / Addition

- Dimensioned elevations drawn to an appropriate scale illustrating all sides of the proposed structure. Drawings shall include notations outlining roof pitches, trim details and the type of windows and doors to be used for the project
- Site plan drawn to an appropriate scale and including setbacks and neighboring structures. Site Plan should illustrate the footprint(s) of all proposed EXISTING AND PROPOSED construction.
- Construction schedule
- For new construction only, the Commission will require a three-dimensional rendering, superimposed photo, silhouette or model of the proposed structure, other structure(s) located on the subject property and neighboring structures when necessary to understand the visual impact of the new construction and its compliance with the Guidelines.

Renovations

- Elevations or photographs of the existing conditions
- Elevation of the proposed changes
- Cut sheet for all proposed materials – Be sure to include all of the following that apply and any other additional materials:
 - Windows
 - Doors
 - Trim, fascia, soffit, etc
 - Decking/ porch flooring materials
 - Roofing Materials, gutters

Windows

Restoration of existing windows is the Commission's first choice. However, the Commission recognizes it may not always be practical to replace windows. For contributing buildings the front façade and any other façade facing a primary right of way are required to be wood windows. Aluminum, or fiberglass clad wood windows may be approved by the Commission on side or rear façades of contributing buildings. For non-contributing buildings clad wood windows will be considered on all elevations. Note: National Register Buildings are held to the highest of standards.

- Photograph or scaled elevation of all elevations of the building with each window that is to be replaced clearly labeled.
- Manufacturers cut sheet for each window to be replaced. Clearly labeled where it will be installed on the building.
- Materials for the windows must be clearly identified on the cut sheet
- Please note if existing trim/shutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Roofing

Note: National Register Buildings are held to the highest of standards.

- Photographs or scaled elevations showing the existing roofing material to be replaced.
- Manufacturers cut sheet for each type of roofing to be replaced. Clearly labeled where it will be installed on the building.
- Please note if existing trim, fascia, soffit, or gutters are to remain or if new are to be installed, please include list of all new materials and cut sheets.

Signs

- Dimensioned scale drawings of the sign. Identify all materials to be used, color(s), lettering (including size and font style) and wording
- Photograph depicting the proposed location for the signage
- Lighting detail
- Construction and or mounting details

Landscaping & Trees

- Landscape plan where existing and proposed landscape features to be installed/planted, removed and/or relocated are identified including the location and species of existing and new trees

Fence

- Application must Include:
 - A Site plan :
 - Drawn to scale
 - Show and label the location of new and any existing fence. (this can be completed on two separate site plans for clarity)
 - Include location of neighboring structures
 - Identify height of proposed fence, location of gates and other openings
 - If the height or style of fence changes based on location, this must be clearly identified.
 - Proposed fence style and material
 - Include photograph, manufacturer cut-sheet of the fence, or detailed sketch of proposed fence.
 - other relevant construction and or material detail

Demolition

The Historic District Commission (HDC) reserves the right to request a professional inspection of the structure(s). Said request may include evaluation by a historic preservation specialist.

- Elevations and photographic documentation of all elevations of the structure(s) to be demolished including footprint dimensions, height dimensions and a site plan illustrating location of the structure(s) to be demolished
- Structural Analysis by Structural Engineer or Licensed Architect
- For Economic Hardship please provide documentation. Reference Guideline 13.9
- Attach replacement plan

Other

- Attach all documentation supporting request

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant.

If the applicant or their designee is not present for the scheduled HDC meeting, the Commission may elect to refrain from discussing and voting on the scheduled agenda item.

This checklist shall be submitted along with the completed Historic District Commission Application and all additional supporting information.



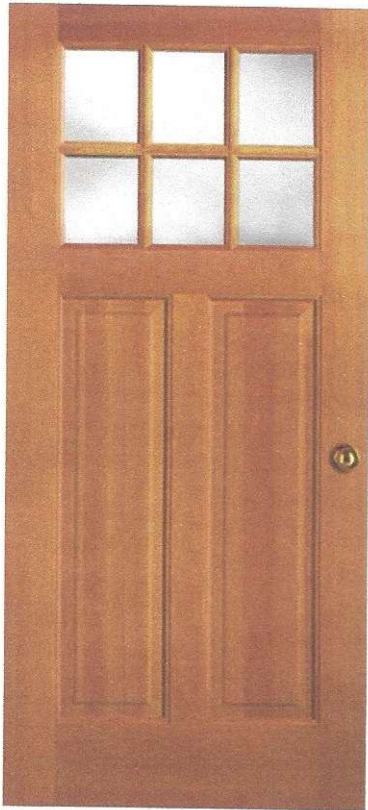
1-800-Simpson



Email Us

Contact Us | Careers | EZQ

Search



37662 THERMAL SASH (SDL)

DOOR SPECIFICATIONS (AS SHOWN):

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

[Use my location to provide accurate pricing](#)

STANDARD OPTIONS

Quantity

Change Quantity

Change Door Shape

Planning to Stain or Paint?

[view more](#)

Stain Paint

Original Slab Width

[view more](#)

Feet	Inches	Fraction
<input type="text" value="3"/> ▾	<input type="text" value="0"/> ▾	<input type="text" value="0"/> ▾

Original Slab Height

[view more](#)


<input type="text" value="6"/> ▾	<input type="text" value="8"/> ▾	<input type="text" value="0"/> ▾
----------------------------------	----------------------------------	----------------------------------

Thickness

[view more](#)

 ▾


IG Glass, Option 1
[view more](#)

Clear 

Add Low-E

Yes No


Sticking Profile

Ovolo Sticking 


Bar Type
[view more](#)

7/8" Ovolo SDL 


Panel Type

1-7/16" Innerbond DHR 

Groove Type

None 

Stile Width
[view more](#)

5-1/2" 

UltraBlock
[view more](#)

Yes

WaterBarrier
[view more](#)

Yes No

DESIGN AND CONSTRUCTION ALTERATIONS

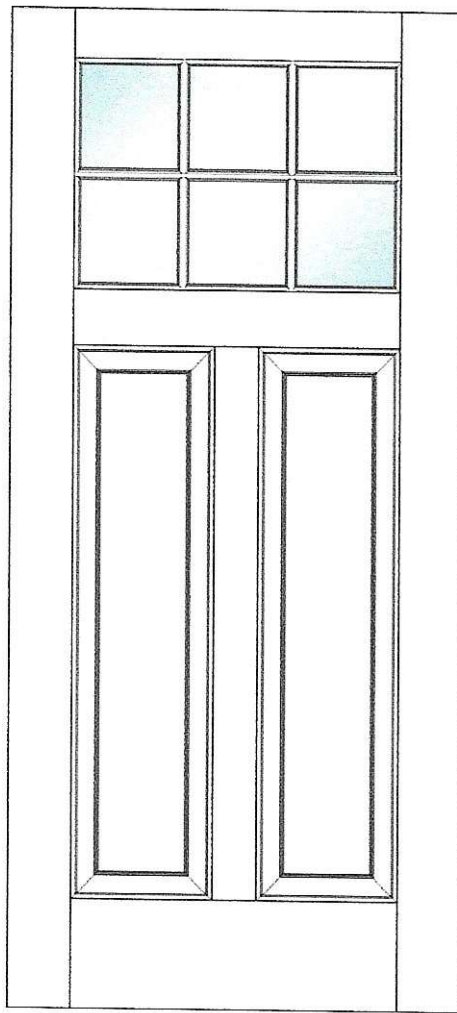
Engineered Stiles and Rails
with 1/4" Veneer
[view more](#)

Yes No

FINISHING TOUCHES

Priming
[view more](#)

Yes No



Showing Side with WaterBarrier

EXPLORE DOORS

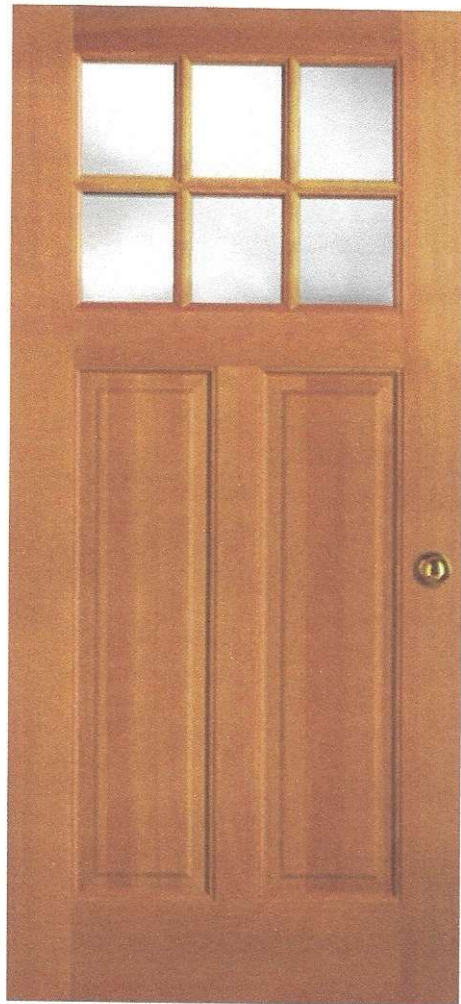
- Find a Door
- Design Tools
- Gallery
- Project Center
- Where To Buy

ABOUT SIMPSON

- Our History
- Environment
- Press Room
- Privacy Policy
- FAQs
- Contact Us
- Careers
- California Supply Chains Act

PROFESSIONALS

- EZQ
- Authorized Dealer Program
- Builders/Contractors
- Architects
- Company Store



80"

44 3/8"

18 1/2"

4 1/2"

3 15/16"

8 11/16"

5" (Typ.)

3 1/2"

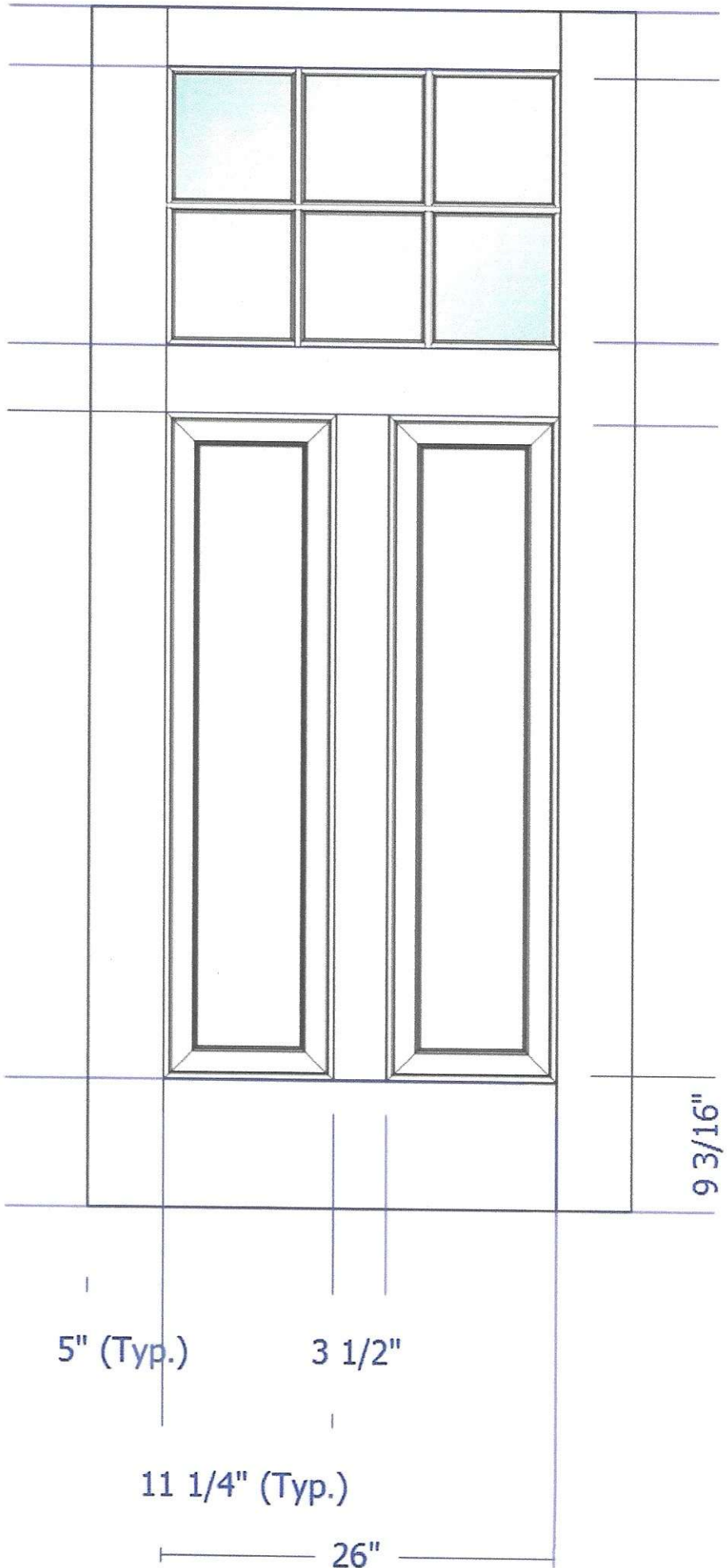
11 1/4" (Typ.)

26"

9 3/16"

5 1/2"

4 7/16"



Narrative for Historic District Application
Front Door Replacement – 502 Goldsborough Street

The existing front door at **502 Goldsborough Street** is not original to the circa-1900 American front-gable residence. To the best of our knowledge, the door was replaced within the last 11 years, likely 2015 or 2016. The door has sustained water damage and is in deteriorating condition.

We are proposing to replace the existing door with a wood, species fir, historically compatible design consistent with early 20th century architecture typical of Easton and very similar to the existing door in keeping with Easton Historic District Design Guidelines:

Guideline 42. Make Sensitive Replacements a. Replace historic doors and surrounds in-kind, where repair is not possible. The replacement door should duplicate the original as closely as possible. b. Replacement doors should be compatible with the overall character of the façade in which they are located. c. Doors located on the front façade of historic properties are typically solid wood. Replacement doors for front façades should be wood.

The proposed replacement door is sourced from Friel Lumber Co, Route 301S, Queenstown, MD 21658.

Overview:

Simpson Ext Fir Single Door 36" x 80" F37662LEW , 6 9/16" On-Guard Primed, On-Guard Primed Standard Brickmould, Le Hand Inswing, US10B Oil Rubbed Bronze Radius Corner Ball Bearing Hinges, Bronze Finish w Dark Cap Composite Adjustable Sill, Bronze Compression Weatherstripping, Double Lock Bore 2-3/4" Backset Bore, Strike Prep Rough Opening: 38 1/2" x 82 1/2" Total Unit: 40 1/4" x 83 3/8"(Includes Exterior Casing)

Options:

- Wood species: Fir
- Slab Height: 3 feet
- Slab Width: 6 feet 8 inches
- Thickness: 1 3/4"
- IG Glass: Clear
- Add Low-E: Yes
- Sticking Profile: Ovolo Sticking
- Bar Types: 7/8" Ovolo SDL
- Panel Type: 1 7/16" Innerbond DHRP
- Stile Width: 5 1/2"
- Ultrablock: Yes
- WaterBarrier: Yes

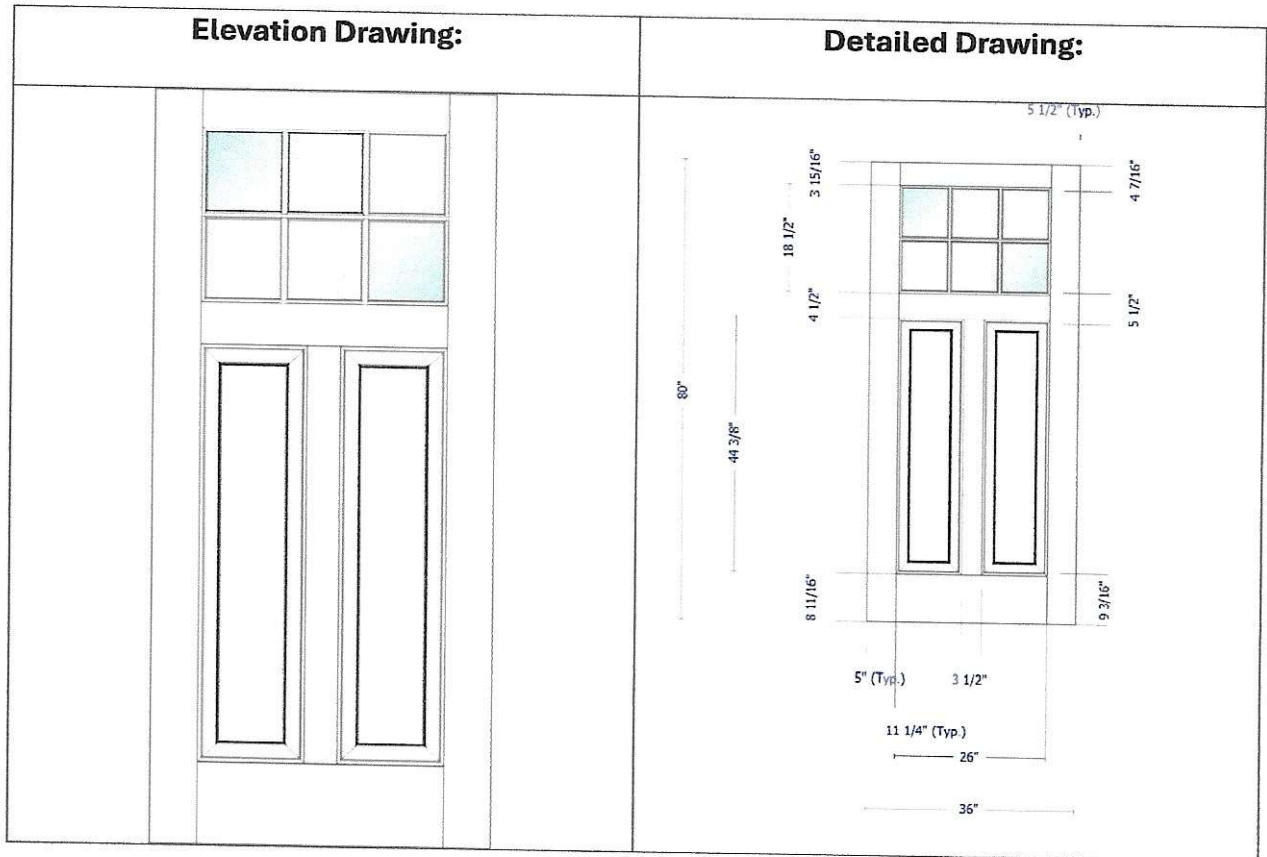
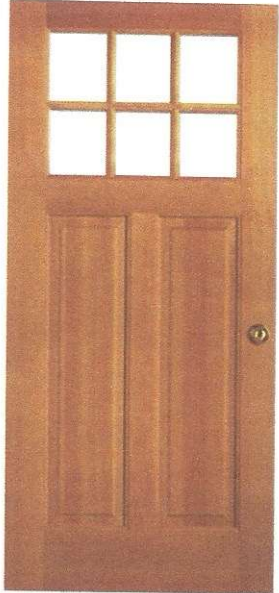
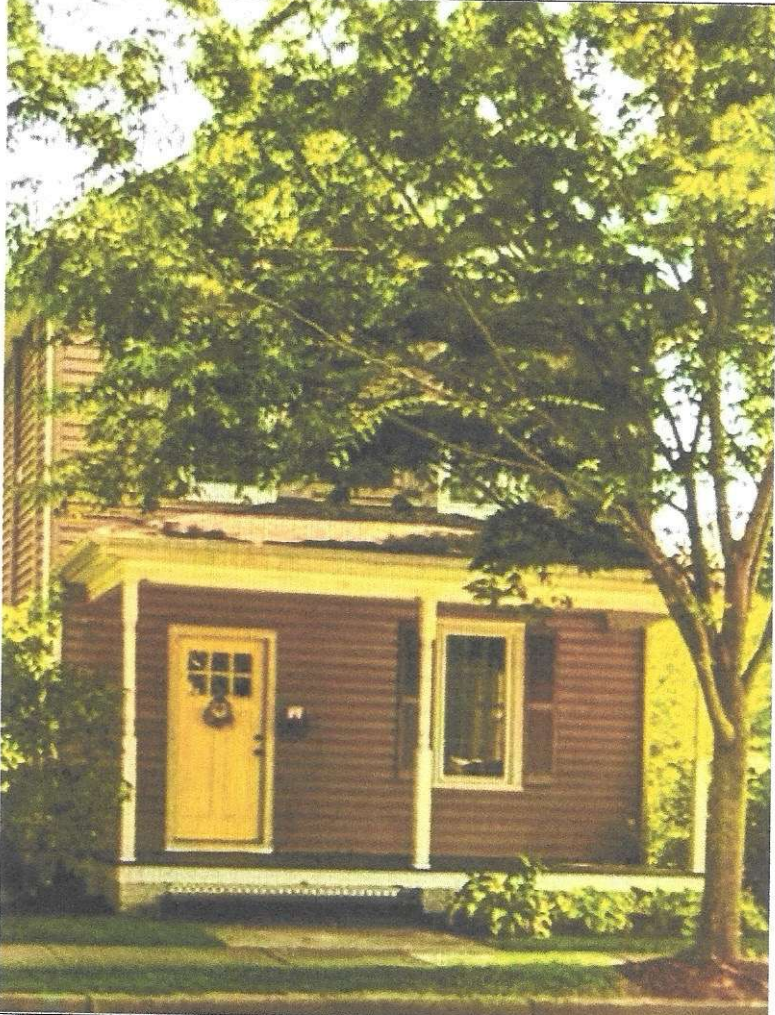


Image of Proposed Replacement Door:	Image of Existing (damaged) Door:
	

Proposed Replacement Fir Wood Door will be painted to match the existing yellow front and side doors.



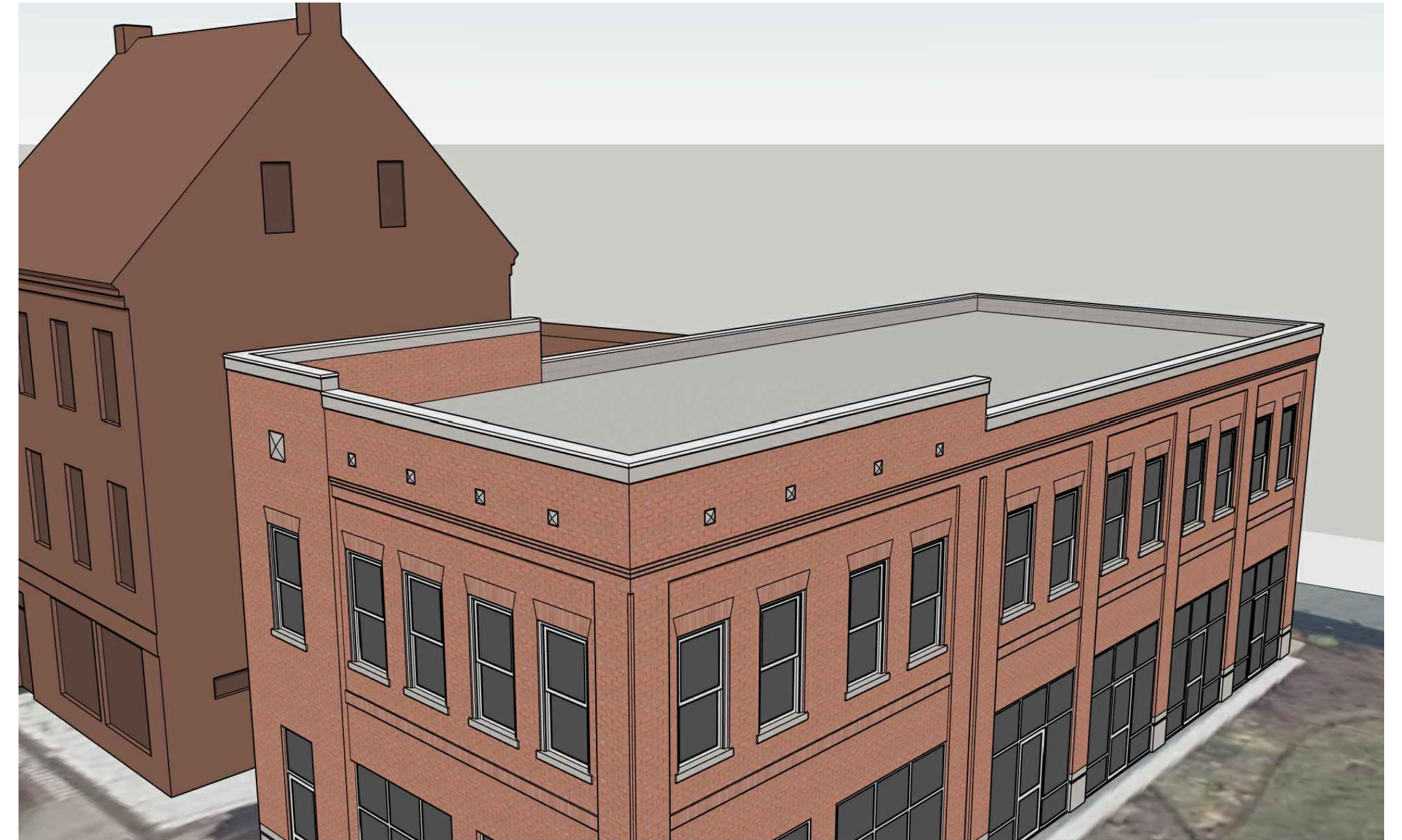
VIEW FROM THE WEST ON THE SOUTH SIDE OF DOVER STREET



VIEW FROM THE EAST ON THE SOUTH SIDE OF DOVER STREET



AERIAL VIEW FROM THE SOUTH



AERIAL VIEW FROM THE SOUTHEAST



AERIAL VIEW FROM THE SOUTHWEST



AERIAL VIEW FROM THE EAST

PRELIMINARY EHDC DISCUSSION DOCUMENTS

MIXED-USE BUILDING RENOVATION
17 E DOVER ST., EASTON, MD
3D IMAGES- EXISTING CONDITIONS

SCALE:
NOT TO SCALE
DATE:
11 MARCH 2026
SHEET 1 OF 1

EXI

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CHRISTINE M. DAYTON
ARCHITECT
P.A.
P.O. BOX 1659, EASTON MD, 21601 · 410-822-3130



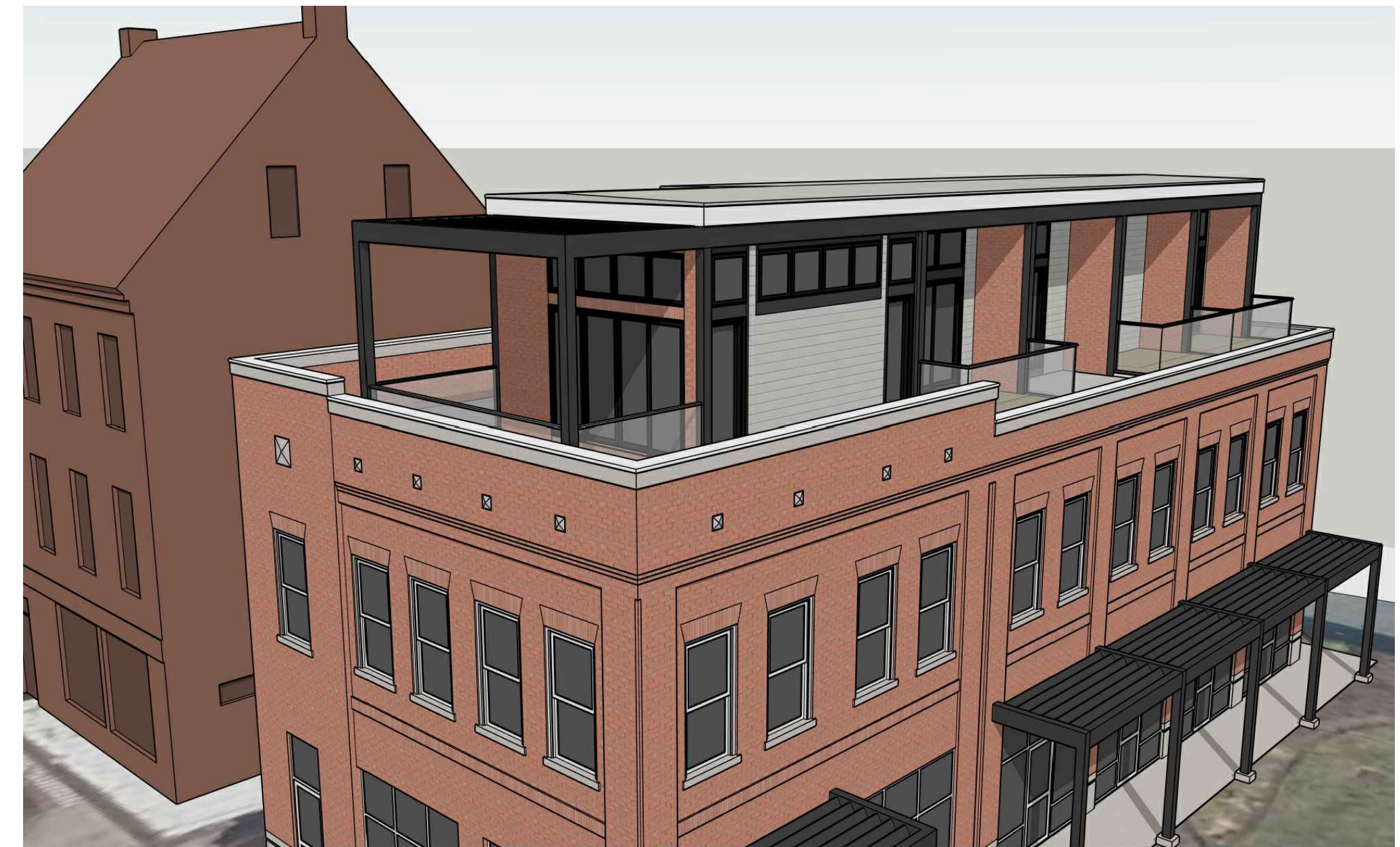
VIEW FROM THE WEST ON THE SOUTH SIDE OF DOVER STREET



VIEW FROM THE EAST ON THE SOUTH SIDE OF DOVER STREET



AERIAL VIEW FROM THE SOUTH



AERIAL VIEW FROM THE SOUTHEAST



AERIAL VIEW FROM THE SOUTHWEST



AERIAL VIEW FROM THE EAST

PRELIMINARY EHDC DISCUSSION DOCUMENTS

PI

SCALE:
NOT TO SCALE
DATE:
11 MARCH 2026
SHEET 1 OF 4

MIXED-USE BUILDING RENOVATION
17 E DOVER ST., EASTON, MD
3D IMAGES- CONCEPT 01

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VIEW FROM THE WEST ON THE SOUTH SIDE OF DOVER STREET



VIEW FROM THE EAST ON THE SOUTH SIDE OF DOVER STREET



AERIAL VIEW FROM THE SOUTH



AERIAL VIEW FROM THE SOUTHEAST



AERIAL VIEW FROM THE SOUTHWEST



AERIAL VIEW FROM THE EAST

PRELIMINARY EHDC DISCUSSION DOCUMENTS

P2

SCALE:
NOT TO SCALE
DATE:
11 MARCH 2026
SHEET 2 OF 4

MIXED-USE BUILDING RENOVATION
17 E DOVER ST., EASTON, MD
3D IMAGES- CONCEPT 02

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VIEW FROM THE WEST ON THE SOUTH SIDE OF DOVER STREET



VIEW FROM THE EAST ON THE SOUTH SIDE OF DOVER STREET



AERIAL VIEW FROM THE SOUTH



AERIAL VIEW FROM THE SOUTHEAST



AERIAL VIEW FROM THE SOUTHWEST



AERIAL VIEW FROM THE EAST

PRELIMINARY EHDC DISCUSSION DOCUMENTS

MIXED-USE BUILDING RENOVATION
17 E DOVER ST., EASTON, MD

3D IMAGES- CONCEPT 03

SCALE:
NOT TO SCALE
DATE:
11 MARCH 2026
SHEET 3 OF 4

P3

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE #19032
EXPIRATION DATE 06/05/27

CHRISTINE M. DAYTON
ARCHITECT
P.A.
P.O. BOX 1659, EASTON MD, 21601 · 410-822-3130

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VIEW FROM THE WEST ON THE SOUTH SIDE OF DOVER STREET



VIEW FROM THE EAST ON THE SOUTH SIDE OF DOVER STREET



AERIAL VIEW FROM THE SOUTH



AERIAL VIEW FROM THE SOUTHEAST



AERIAL VIEW FROM THE SOUTHWEST



AERIAL VIEW FROM THE EAST

PRELIMINARY EHDC DISCUSSION DOCUMENTS

P4

SCALE:
NOT TO SCALE
DATE:
11 MARCH 2026
SHEET 4 OF 4

MIXED-USE BUILDING RENOVATION
17 E DOVER ST., EASTON, MD
3D IMAGES- CONCEPT 04

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**Town of Easton Historic District Commission
Draft Decision Summary**

Monday, March 9, 2026 at 6:00 p.m.

Town Hall Chamber 2

14 S. Harrison Street, Easton, Maryland

Archived video of the meeting is available at:

[Town of Easton Agenda and Minutes](#)

[\(eastonmd.gov\)](http://eastonmd.gov)

Attendance:

Commission Members:

- Ernie Demby, Chairperson
- Maria Brophy CFM, Vice Chairperson
- Kevin Bateman
- Joshua Startt AIA
- Michael Stuart

Staff:

- Miguel Salinas, Planning and Zoning Director
- Nicholas Johnson AICP, Town Planner (Current)
- Samantha Smith, Administrative Specialist

Absent:

Commission Members:

- Emily Carey
- Jim Carr

1. Call to Order — Chairperson Demby called the meeting to order at 6:00 pm.

2. Agenda Summary Review — March 9, 2026 - The Commission made an amendment to the agenda to postpone the annual Election of Officers to a subsequent meeting.

Vice Chairperson Brophy moved to approve the March 9, 2026 Agenda Summary with the proposed amendment. Commissioner Stuart seconded the motion.

<u>Vote</u>	<u>5 - 0 - 0 - 2</u>
FOR:	5 - Demby, Brophy, Bateman, Startt, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	2 - Carey, Carr

3. Old Business —

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a. File No.: 2026 - 1631 / HD 26 - 07
Applicant: Callahan Signs
on behalf of Maury Donnelly & Parr, Inc.
Location: 16 N. Washington Street, Easton, MD 21601
Tax Map 0103, Grid 00EA, Parcel 1212
Zoning: CB

Request: The Applicant is requesting to install a 25” by 27” (4.7 square foot) hanging sign on the front facade of the structure. The sign will be constructed of PVC and mounted to the building by an existing metal bracket. The structure to which the sign will be mounted is a contributing structure to the Historic District.

Background: This application was tabled by the Commission on February 9, 2026 subject to the Planning Commission’s approval regarding the sign’s placement, size, and minimum clearance height. On February 19, 2026 the Town of Easton Planning Commission granted signage approval where two (2) or more businesses occupy one (1) building with a common entrance (16 N.Washington Street) subject to the condition that the Applicant shall align all three (3) scroll brackets, and provide the required eight (8) feet of clearance between the sidewalk and the bottom of the proposed and existing signs.

Historic District Guideline references:
i. Guideline 25. General Guidelines for Signage
ii. Guideline 31. Hanging and Bracket Signs

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
John Callahan, Callahan Signs

Public Comment — None
Public Comment Written — None

Commissioner Stuart moved to approve the application as submitted. Commissioner Bateman seconded the motion.

Vote 5 - 0 - 0 - 2
FOR: 5 - Demby, Brophy, Bateman, Startt, Stuart
AGAINST: 0
ABSTAIN: 0
ABSENT: 2 - Carey, Carr

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b. File No.: 2025 - 1577 / HD 25 - 101
Applicant: Anne Decker Architects
on behalf of Caroline Dalton
Location: 7 Brookletts Avenue, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1972
Zoning: R-10A

Request: The Applicant is requesting an amendment to the previously approved scope of work for the replacement of the current one over one windows with two over two simulated divided light (SDL) wood windows. This is a contributing structure to the Historic District.

Background: On October 14, 2025 the Commission granted a Certificate of Appropriateness for multiple exterior alterations to the structure including the installation of new private walkways, a reconfigured parking area, and the addition of a swimming pool and a pre-fabricated shed. Other approved alterations included new wood privacy fencing (the application was amended to state that the fence will not exceed four (4) feet in height between the front of the house and Brookletts Avenue), the repair or replacement of all existing shutters, and the replacement of existing one over one windows in-kind. The basement windows will be replaced with new aluminum-clad windows, and an exterior basement access will be removed. A new front door with sidelites will be installed, and the existing asphalt shingle roof will be replaced with slate. Additionally, a rear deck and sunroom will be demolished to construct a new one-story addition.

This application was tabled by the Commission on December 22, 2025 pending additional information regarding the condition of the existing windows.

- Historic District Guideline references:
- i. *Guideline 1. Preserve Significant Historic Features*
 - ii. *Guideline 2. Repair Rather than Replace*
 - iii. *Guideline 3. Make Sensitive Replacements*
 - iv. *Guideline 89. Maintain Historic Windows*
 - v. *Guideline 90. Make Sensitive Replacements (Windows)*
 - vi. *Guideline 91. Shutters*
 - vii. *Guideline 93. Sills, Lintels, and Frames*

Staff Presentation:
Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:
Caroline Dalton

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Public Comment — None
Public Comment Written — None

Commissioner Bateman moved to approve the application subject to the following conditions:

- 1. The Applicant shall provide a cutsheet for two-over-two simulated divided light (SDL) wood windows that is consistent to the Historic District Guidelines. This material is subject to administrative approval by staff, following consultation with the Chairperson and Vice Chairperson.**

Commissioner Stuart seconded the motion. The Commission determined that a two-over-two configuration was appropriate in this circumstance given the surrounding context, and that a two-over-two configuration is appropriate for this architectural style.

<u>Vote</u>	4 - 1 - 0 - 2
FOR:	4 - Demby, Bateman, Startt, Stuart
AGAINST:	1 - Brophy
ABSTAIN:	0
ABSENT:	2 - Carey, Carr

- c. File No.: 2025 - 1404 / HD 25 - 15**
Applicant: Christian Chute AIA
on behalf of Carstairs Row LLC
Location: 107 & 109 S. Washington Street, Easton, MD 21601
Tax Map 0104, Parcels 1985 & 1986, Lot 2B
Zoning: CB

Request: The Applicant is requesting an amendment to the materials previously approved for the replacement of the windows. The approved aluminum clad wood windows on the rear and side elevations will now be fiberglass clad wood windows. Additionally, the existing wood windows on the second floor of the front façade will also be replaced with new fiberglass clad wood windows. All replacement windows will feature a 9-over-6 configuration with simulated divided lights. This is a contributing structure to the Historic District, and is listed on the Maryland Inventory of Historic Places (T-10).

Background: A request to demolish the rear addition of 109 S. Washington Street and construct a new addition first appeared before the Commission on April 8, 2024 (application 2024 - 1173). At the conclusion of the meeting, the Commission found the rear addition to be a contributing structure, and requested for the Maryland Historic Trust (MHT) to review and comment on the application. The Maryland Historic Trust provided a review letter on May 20, 2024 which evaluated the historic significance of the rear addition, and the effect demolishing the addition would have on the building’s contributing status. This

187 application was approved by the Historic District Commission on June 10, 2024
188 via a 5 - 0 vote subject to the condition that the Applicant shall return with a plan
189 showing the location of all mechanical equipment and a landscape plan. The
190 Certificate of Appropriateness for this application expired on December 10, 2024
191 as no building permit was issued.

192
193 On March 10, 2025, the Commission granted a Certificate of Appropriateness for
194 a smaller scope of work from the previously approved project (application 2025 -
195 1404). The new scope of work included the partial demolition of the 180 square
196 foot contributing rear addition to 109 S Washington Street (The Plate House), and
197 the subsequent construction of a 600 square foot, two-story rear addition.
198 Renovations to the building included the installation of new windows on the
199 southern and western facades, two (2) new wood doors on the western façade, the
200 replacement of a failing brick wall on the western façade with smooth Hardi lap
201 siding, and the installation of a new standing seam metal roof and architectural
202 asphalt shingle roof. On August 11, 2025, the Commission granted approval for a
203 modification of the siding on the rear wall to a brick veneer, and the addition of a
204 new first-floor window to the rear façade subject to the condition that vertical
205 brick lentils are added over the rear windows.

206
207 **Historic District Guideline references:**

- 208 *i. Guideline 1. Preserve Significant Historic Features*
- 209 *ii. Guideline 2. Repair Rather than Replace*
- 210 *iii. Guideline 3. Make Sensitive Replacements*
- 211 *iv. Guideline 89. Maintain Historic Windows*
- 212 *v. Guideline 90. Make Sensitive Replacements (Windows)*
- 213 *vi. Guideline 91. Shutters*
- 214 *vii. Appendix B.2. Common Substitute Materials (Composite/Fiberglass and Fiberglass-*
215 *Clad)*

216
217 **Staff Presentation:**

218 Miguel Salinas, Planning and Zoning Director
219 Nicholas Johnson AICP, Town Planner - Current

220
221 **Applicant Presentation:**

222 Christian Chute AIA
223 Richard Marks, Carstairs Row LLC

224
225 **Public Comment** — None

226 **Public Comment Written** — None

227
228 **Commissioner Stuart moved to approve the application as submitted. Commissioner**
229 **Startt seconded the motion.**

230
231 Vote 5 - 0 - 0 - 2
232 FOR: 5 - Demby, Brophy, Bateman, Startt, Stuart
233 AGAINST: 0

234 ABSTAIN: 0
235 ABSENT: 2 - Carey, Carr
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238 **4. New Business —**
239

- 240 **a. File No.:** 2026 - 1642 / HD 26 - 14
241 **Applicant:** MJH Construction, LLC
242 on behalf of Moon River Investments, LLC
243 **Location:** 33 S. Harrison Street, Easton, MD 21601
244 Tax Map 0104, Grid 00EA, Parcel 1519
245 **Zoning:** CB
246

247 **Request:** The Applicant is seeking approval for several exterior
248 modifications to the structure including the replacement of the existing aluminum
249 siding and cedar shakes with fiber-cement shingle siding, the replacement of the
250 wood trim, and the installation of new windows and doors. Windows will be
251 replaced with vinyl-clad wood sash units featuring simulated divided lights and a
252 black exterior finish. The existing asphalt shingle roof will be replaced with a new
253 architectural asphalt shingle roof. The rear portion of the structure will be
254 reframed to increase wall height and to accommodate a standard height door, and
255 a new shed roof will be constructed to match the existing exterior trim details.
256 Gutters and downspouts will be replaced and a second exterior light will be added
257 at the front entry. This is a contributing structure to the Historic District.
258

259 Historic District Guideline references:

- 260 i. *Guideline 1. Preserve Significant Historic Features*
261 ii. *Guideline 2. Repair Rather than Replace*
262 iii. *Guideline 3. Make Sensitive Replacements*
263 iv. *Guideline 4. Restore Significant Historic Features*
264 v. *Guideline 40. Details and Ornamentation*
265 vi. *Guideline 41. Maintain Original and Historic Doors*
266 vii. *Guideline 42. Make Sensitive Replacements*
267 viii. *Guideline 43. Restore Missing or Inappropriately Altered Doors*
268 ix. *Guideline 46. Maintain Historic Windows for Energy Efficiency*
269 x. *Guideline 62. Choose Appropriate Color Schemes*
270 xi. *Guideline 68. Maintain Historic Roof Shape*
271 xii. *Guideline 70. Roof Material*
272 xiii. *Guideline 76. Preserve Historic Wood Siding*
273 xiv. *Guideline 77. Make Sensitive Replacements*
274 xv. *Guideline 78. Substitute Materials for Siding*
275 xvi. *Guideline 79. Fiber Cement Siding*
276 xvii. *Guideline 89. Maintain Historic Windows*
277 xviii. *Guideline 90. Make Sensitive Replacements*
278 xix. *Appendix B.2. Common Substitute Materials (Doors)*
279 xx. *Appendix B.2. Common Substitute Materials (Siding)*

xxi. *Appendix B2. Common Substitute Materials (Windows)*

Staff Presentation:

Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:

Michael Harkowa, MJH Construction LLC

Public Comment — None

Public Comment Written — None

The Applicant amended the application to propose that all front facing windows on the ground floor will be wood.

**Commissioner Startt moved to approve the amended application as submitted.
Commissioner Bateman seconded the motion.**

<u>Vote</u>	<u>5 - 0 - 0 - 2</u>
FOR:	5 - Demby, Brophy, Bateman, Startt, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	2 - Carey, Carr

- b. File No.:** 2026 - 1664 / HD 26 - 15
- Applicant:** Huntington Construction LLC
on behalf of Peter and Janet Doyle
- Location:** 207 S. Aurora Street, Easton, MD 21601
Tax Map 0105, Grid 00EA, Parcel 2143
- Zoning:** R-10A

Request: The Applicant is seeking approval for the construction of a new side porch measuring 14 feet wide by 12 feet deep. The proposed porch materials include Timbertech PVC decking, vinyl railing, and a composite trim. To accommodate the porch construction, an existing window will be removed and converted into an entryway featuring French doors of an unspecified material. The section of roof being replaced will utilize architectural asphalt shingles to match the existing shingles on the house, with the fascia and soffit proposed in vinyl. The material for the gable end is unspecified. This is a contributing structure to the Historic District.

Historic District Guideline references:

- i. Guideline 44. Adding New Doors*
- ii. Guideline 66. Adding New Porches*
- iii. Guideline 67. New Rear Decks and Patios*
- iv. Appendix B.2. Common Substitute Materials (Porch and Deck)*

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Staff Presentation:

Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:

Thomas Huntington, Huntington Construction LLC
Peter and Janet Doyle

Public Comment — None

Public Comment Written — None

The Applicant amended the application to propose the following changes in scope of work and materials:

1. **The soffit, trim, and fascia will consist of a composite material.**
2. **The railing will consist of a wood or composite material.**
3. **The new porch will consist of round columns (not of a vinyl material).**
4. **Landscape plantings will be used to screen the porch’s foundation from view.**

Commissioner Stuart moved to approve the amended application subject to the following condition:

1. **The Applicant shall provide a cutsheet for the amended materials for the soffit, trim and fascia, the railing, and the French double doors that is consistent with the Historic District Guidelines. This material is subject to administrative approval by staff, following consultation with the Chairperson and Vice Chairperson.**

Commissioner Startt seconded the motion.

Vote	<u>5 - 0 - 0 - 2</u>
FOR:	5 - Demby, Brophy, Bateman, Startt, Stuart
AGAINST:	0
ABSTAIN:	0
ABSENT:	2 - Carey, Carr

- c. File No.: 2026 - 1654 / HD 26 - 18**
Applicant: Shore Projects LLC
on behalf of For All Seasons Inc.
Location: 111 E. Dover Street, Easton, MD 21601
Tax Map 0104, Grid 00EA, Parcel 1193
Zoning: CB

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Request: The Applicant is seeking approval for multiple exterior alterations to the structure. The proposed scope of work includes the replacement of the existing windows on portions of the front and side facades with new wood windows, the removal of the existing wooden ramp and stairs for reframing with a composite material, the in-kind replacement of the wood siding, the removal of porcelain tile from the side porch, the repointing of mortar joints, and the installation of a new entrance connecting the neighboring YMCA building and the main structure. This is a contributing structure to the Historic District.

Historic District Guideline references:

- i. *Guideline 1. Preserve Significant Historic Features*
- ii. *Guideline 2. Repair Rather than Replace*
- iii. *Guideline 3. Make Sensitive Replacements*
- iv. *Guideline 6. Comply with Health and Safety Codes*
- v. *Guideline 37. ADA Ramps*
- vi. *Guideline 44. Adding New Doors*
- vii. *Guideline 52. Choose Appropriate New or Replacement Fixtures*
- viii. *Guideline 54. Fire Escapes and Exterior Stairs*
- ix. *Guideline 57. Repointing Masonry*
- x. *Guideline 63. Match Colors When Patching or Piercing Materials*
- xi. *Guideline 65. Make Sensitive Replacements (Porches)*
- xii. *Guideline 77. Make Sensitive Replacements (Siding)*
- xiii. *Guideline 90. Make Sensitive Replacements (Windows)*
- xiv. *Guideline 93. Sills, Lintels, and Frames*
- xv. *Appendix B.2. Common Substitute Materials (Porch and Deck)*

Staff Presentation:

Miguel Salinas, Planning and Zoning Director
Nicholas Johnson AICP, Town Planner - Current

Applicant Presentation:

Joshua McCall, Shore Projects LLC

Public Comment — None

Public Comment Written — None

The Applicant amended the application to propose a composite material for the side railing.

**Commissioner Startt moved to approve the amended application as submitted.
Commissioner Bateman seconded the motion.**

<u>Vote</u>	4 - 1 - 0 - 2
FOR:	4 - Demby, Bateman, Startt, Stuart
AGAINST:	1 - Brophy

418 ABSTAIN: 0
419 ABSENT: 2 - Carey, Carr
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422 **5. Discussion Item — None**
423

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425 **6. Decision Summary Review —**
426

- 427 **a. Commissioner Bateman moved to approve the January 12, 2026 Decision**
428 **Summary. Commissioner Stuart seconded the motion.**
429

430 Vote 5 - 0 - 0 - 2
431 FOR: 5 - Demby, Brophy, Bateman, Startt, Stuart
432 AGAINST: 0
433 ABSTAIN: 0
434 ABSENT: 2 - Carey, Carr
435

- 436 **b. Commissioner Bateman moved to approve the February 9, 2026 Decision**
437 **Summary. Commissioner Stuart seconded the motion.**
438

439 Vote 5 - 0 - 0 - 2
440 FOR: 5 - Demby, Brophy, Bateman, Startt, Stuart
441 AGAINST: 0
442 ABSTAIN: 0
443 ABSENT: 2 - Carey, Carr
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446 **7. Administrative Approval —**
447

- 448 **a. File No.: 2026 - 1662 / HD 26 - 23**
449 **Applicant: Precision Exteriors**
450 **Location:** 218 N. Aurora Street, Easton, MD 21601
451 Tax Map 0103, Grid 00EA, Parcel 0683
452 **Zoning:** R-7A
453

454 **Request:** The Applicant is requesting administrative approval for the in-kind
455 replacement of the asphalt shingle roof with new architectural asphalt shingles.
456 Given that the request complies with §28-601.E.4.d of the Town of Easton Zoning
457 Ordinance and the Easton Historic District Design Guidelines, the application
458 may be administratively approved subject to the following condition:
459

- 460 1. The existing trim, fascia, soffit and gutters shall remain.
461

462 This is a contributing structure to the Historic District.
463

- 464 Historic District Guideline references:
465 *i. Guideline 2.5 Staff Approvals*
466 *ii. Guideline 68. Maintain Historic Roof Shape*
467 *iii. Guideline 70. Roof Material*
468 *iv. Guideline 73. Replace Historic Gutters and Downspouts In-Kind*
469
470

471 **8. Consent Docket —**
472

473 **a. File No.: 2026 - 1656 / HD 26 - 19**

474 **Applicant: Marasun LLC**
475 **on behalf of Peter Spencer**

476 **Location:** 213 Davis Avenue, Easton, MD 21601
477 Tax Map 0105, Grid 00EA, Parcel 2200

478 **Zoning:** R-7A
479

480 **Request:** Approval for an in-kind asphalt shingle roof replacement, and
481 emergency approval for the in-kind replacement of the gutters as per the Historic
482 District Commission Chairperson. This is a contributing structure to the Historic
483 District.
484

485 **b. File No.: 2026 - 1658 / HD 26 - 20**

486 **Applicant: Kaufmann Enterprises LLC**

487 **Location:** 106 N. Washington Street, Easton, MD 21601
488 Tax Map 0103, Grid 00EA, Parcel 0624

489 **Zoning:** CB
490

491 **Request:** Approval for an emergency in-kind replacement of the TPO roof
492 as per the Historic District Commission Chairperson. This is a non contributing
493 structure to the Historic District.
494

495
496 **9. Adjournment —** Commissioner Bateman moved to adjourn. Vice Chairperson Brophy
497 seconded the motion. The meeting was adjourned at 7:10 p.m.

EMERGENCY RECEIVED

HD 26 - 27

MAR 13 2026



TOWN OF EASTON PLANNING AND ZONING TOWN OF EASTON 14 SOUTH HARRISON STREET, EASTON, MD 21601

Table with application details: Application #: 2026-1670, Date Received: 03/13/2026, Fee Paid: \$75.00, HDC Meeting Date: 03/23/2026, Date Property Posted: -

HISTORIC DISTRICT COMMISSION HEARING APPLICATION

APPLICATION TYPE (PLEASE CIRCLE)

Form with application type options: ROOFING, DEMOLITION, SIGNAGE, FENCING, OTHER, NEW CONSTRUCTION/ADDITION, EXTERIOR ALTERATIONS, FOR TREE REMOVAL(S) - PLEASE USE THE TREE REMOVAL APPLICATION

PROPERTY INFORMATION

Form with address: 31 East Dover Street, Easton, MD 21601, Contributing/Non-Contributing checkboxes, YEAR BUILT, NATIONAL REGISTAR #

PROPERTY INFORMATION

Form with owner name: Macleod Law Group, LLC, TELEPHONE NO., EMAIL

Applicant or Agent (If other than property owner, written authorization from owner is required.)

Form with name: Ruff Roofing and Sheet Metal, TELEPHONE NO., EMAIL

Description of Proposal (include additional sheets, as necessary)

Table with description of proposal: Full roof replacement of both upper and lower roof. Complete removal of existing roof system down to wood deck. Repair of any deteriorated wood decking. New R-30 insulation mechanically attached. New adhered TPO membrane and edge metal. New gutters and downspouts to replace existing.

Specific Requirements

- The payment of fees is due at the time of application submittal. As of July 1, 2025, the fees are as follows: Commercial - \$200 Residential - \$75 Signs - \$75 Staff Approval \$25
Provide 2 hard copies plus 1 digital copy of the application and all supplemental information.
Disclose any easements or deed restrictions pertaining to the property and any improvements including the details of said easements or restrictions.
Disclose any tax credits and or grants being considered for the project.

The Historic District Commission (HDC) reserves the right to request reasonable additional information or design drawings that further clarify proposals. In cases where professional design services are warranted, the HDC may require the applicant to retain a licensed design consultant. If the applicant or their designee is not present for the scheduled meeting the Commission may elect to refrain from discussing and voting on the scheduled agenda item. Any modifications during review shall warrant an updated application.

I hereby certify that I have reviewed the Easton Historic District Guidelines as published

Signature of Applicant or Agent

Date

Printed Name of Applicant or Agent

Form with signature: Jeff Money, Date: 3/12/26, Printed Name: Jeff Money

Revised 4.4.2022

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- Uses hot-melt, pressure-sensitive (HMPSA) to retain bonding power at temperatures down to 20°F
- No waiting for flash-off and no adhesive containers to dispose of
- Suitable for jobs on occupied buildings where odor associated with traditional solvent-based adhesives are a concern
- More flexible than GAF standard TPO

Get the benefits of TPO, plus easy installation

- **Excellent seam strength** — heat-welded seams provide excellent long-term performance
- **Long-term weathering protection** — excellent protection against the damage caused by heat, weather elements, and UV rays
- **Fast to install** — up to 60% faster membrane installation than traditional GAF TPO bucket adhesives, based on head-to-head testing under controlled laboratory conditions

- **Minimal disruption to building occupants** — avoid odor associated with solvent-based adhesives. Minimal disruption to building occupants makes it a good option for use on buildings like schools and hospitals.
- **Easy clean-up** — no buckets, rollers, or canisters to dispose of — just the release liner
- **Cold-weather application** — can be installed at temperatures as low as 20°F
- **FM approved* and UL listed†**
- **Versatile** — can be applied directly to a variety of substrates including ISO, HD ISO, and gypsum boards, with no primer or anchor sheet required‡
- **Warranty or guarantee coverage available for up to 25 years for qualified systems§**
- **Reflective white membrane** — can help reduce building cooling costs**

Available sizes and colors:

- White only
- Thickness: 60 mil and 80 mil
- Roll sizes: 5' x 100' and 10' x 100'

Easy to install

1. Kick out the roll



2. Remove the release liner



3. Broom in the sheet



4. Use a weighted roller



5. Heat weld the seams



* FM Approved — refer to RoofNav.com for actual assemblies.

† Classified by UL in accordance with ANSI/UL 790. Refer to UL Product iQ for specific assemblies.

‡ Refer to application instructions for approved substrates and additional information.

§ Additional requirements apply. Contact GAF for more information. See applicable guarantee or warranty documents, available at gaf.com, for complete coverage and restrictions.

** Energy cost savings are not guaranteed and the amount of savings may vary based on climate zone, utility rates, radiative properties of roofing products, insulation levels, HVAC equipment efficiency, and other factors.



Visit gaf.com

For additional information, contact GAF Design Services at 1-877-423-7663 or designservices@gaf.com

We protect what matters most™



Physical Properties (ASTM D 6878)

Type	ASTM Test Method	ASTM Minimum Values	EverGuard® Test Values (approx.)*	
			60 mil	80 mil
Nominal Thickness	ASTM D 751	0.039"	0.060" (1.52 mm)	.080" (2.03 mm)
Coating over Scrim	ASTM D 7635	0.015"	0.026" (0.66 mm)	.035" (0.89 mm)
Breaking Strength	ASTM D 751 Grab Method MD	220 lbf	338 lbf MD / 305 lbf CD	400 lbf MD / 380 lbf CD
Factory Seam Strength	ASTM D 751	66 lbf	134 lbf	134 lbf
Weather Resistance	ASTM G 155	10,080 kJ/m ² at 340 nm, No cracks at 7X	>20,160 kJ/m ² at 340 nm, No cracks, Pass	>20,160 kJ/m ² at 340 nm, No cracks, Pass
Elongation at Break	ASTM D 751	15%	30%	30%
Heat Aging	ASTM D573	≤1.5% Weight change after 8 weeks @ 275 °F, No cracks at 7X	Pass	Pass
Tear Strength	ASTM D 751 (8" x 8" Sample)	55 lbf	Pass	Pass
Cold Brittleness	ASTM D 2137	-40 °F	Pass	Pass
Dimensional Change	ASTM D 1204	±1%	Pass	Pass
Water Absorption	ASTM D 471	±3%	Pass	Pass
Ozone Exposure	ASTM D 1149	No cracks	Pass	Pass
Guarantee			Up to 20 years	Up to 25 years

Additional Physical Properties

Type	ASTM Test Method	ASTM Minimum	Data Source
Air Permeance	ASTM E 2178	—	<0.02 L/(s·m ²)

Sustainability Ratings and Certifications




Cool Roof Rating Council (CRRC)

Type	ASTM Test Method	Color	Product ID#	Initial	Aged [†]
Solar Reflectance	ASTM C-1549	White	0676-0159	0.81	0.67
Thermal Emittance	ASTM C-1371	White	0676-0159	0.90	0.90
Solar Reflectance Index (SRI)	ASTM E-1980	White	0676-0159	101	82

LEED Information

Manufacturing Location	Mount Vernon, IN
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Applicable Standards and Approvals

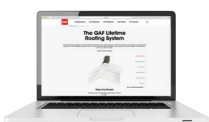
 <p>Classified by UL in accordance with ANSI/UL 790. Refer to UL Product iQ for actual assemblies.</p>	 <p>FM Approved (Refer to roofnav.com for actual assemblies).</p>	 <p>Miami-Dade County Product Control Approved</p>
Can be used to comply with the Title 24, Part 6, Cool Roof Requirements of the California Code of Regulations.	State of Florida Approved	Meets or exceeds the requirements of the Texas Department of Insurance.

Product Data

Roll Size	Colors	Full Roll Size	Full Roll Weight (Average)	Full Roll Size	Full Roll Weight (Average)
60 mil	White	10' x 100'	372 lb.	5' x 100'	186 lb.
80 mil	White	10' x 100'	456 lb.	5' x 100'	228 lb.
Shelf Life	18 months from the date of manufacture when stored properly.				
Storage	Store in a clean, dry environment between 60 °F and 100 °F and out of direct sunlight. When stored onsite, the membrane must be kept dry and at least 20 °F prior to installation.				
Safety Warning	Caution must be taken when moving the membrane rolls. Use care when handling the adhesive side as it is aggressive and will stick to skin. Refer to SDS for additional safety information.				

* Values stated are approximate and subject to normal manufacturing variation. These values are not guaranteed and are provided solely as a guide.

[†] CRRC Rapid Ratings: Interim laboratory-aged values that simulate naturally aged values and will be replaced by the measured three-year naturally aged values upon completion of the weathering process.
 Note: Membrane rolls shipped horizontally on pallets.





Description:

EnergyGuard™ Polyiso Insulation made of glass fiber reinforced cellulosic facers (GRF) bonded to a core of polyisocyanurate foam.

Features and Benefits:

- Versatile — approved component in single ply, BUR and modified bitumen systems, with a variety of attachment methods: mechanically attached, fully adhered, loose laid and ballasted
- Approved for direct application to steel decks
- High insulation value — polyiso insulation has the highest R-value per inch compared to any other type of non-polyiso insulation of equivalent thickness
- Because of its light weight, this material is easy to handle on the jobsite and installs quickly. Easy cutting in the field provides the installer with simplified fabricating on the roof deck
- Excellent dimensional stability, high moisture resistance and low water permeability

Panel Characteristics:

- Available in a variety of thicknesses from 1.0" (25.4 mm) to 4.6" (116 mm) to best suit your specifications
- Available in 4' x 4' (1.22 m x 1.22 m) and 4' x 8' (1.22 m x 2.44 m) boards
- Flute Fill and other special sizes are available upon request
- Other EnergyGuard™ products available – tapered, CGF facer and non-halogenated. See individual data sheets for more information

Codes & Compliance:

- Meets the requirements of ASTM C1289 Type II, Class 1, Grade 2 (20 psi) and also available in Grade 3 (25 psi)
- FM Approved - refer to RoofNav.com for approved assemblies
- Classified by UL in accordance with ANSI/UL 1256, 790 and 263. Refer to UL Product iQ for specific assemblies
- UL Evaluation Report UL ER1306-03
- Miami-Dade County Product Control Approved
- State of Florida Approved
- Meets the requirements of CAN/ULC 704.1, Type 2, Class 3 or Type 3, Class 3†
- UL (Canada) Evaluation Report ULC ER 1306†
- For additional information, contact GAF at 1-800-766-3411 or designservices@gaf.com

Two layers 2.6" for R-30

EnergyGuard™ Polyiso Insulation Thermal Values:

Size*	R-Value**	Max Flute Span (in)
1.0" (25.4 mm)	5.7	2 5/8" (66.7 mm)
1.2" (30.5 mm)	6.8	2 5/8" (66.7 mm)
1.5" (38.1 mm)	8.6	4 3/8" (111 mm)
1.75" (44.5 mm)	10.0	4 3/8" (111 mm)
2.0" (51 mm)	11.4	4 3/8" (111 mm)
2.2" (59 mm)	12.6	4 3/8" (111 mm)
2.3" (58 mm)	13.2	4 3/8" (111 mm)
2.5" (64 mm)	14.4	4 3/8" (111 mm)
2.6" (66 mm)	15.0	4 3/8" (111 mm)
2.8" (71 mm)	16.2	4 3/8" (111 mm)
3.0" (76 mm)	17.4	4 3/8" (111 mm)
3.2" (81 mm)	18.6	4 3/8" (111 mm)
3.5" (89 mm)	20.5	4 3/8" (111 mm)
3.7" (94 mm)	21.7	4 3/8" (111 mm)
4.0" (102 mm)	23.6	4 3/8" (111 mm)
4.3" (109 mm)	25.4	4 3/8" (111 mm)
4.5" (114 mm)	26.6	4 3/8" (111 mm)
4.6" (117 mm)	27.1	4 3/8" (111 mm)

* Other thicknesses available upon request.

** Long Term Thermal Resistance Values provide a 15-year time weighted average in accordance with CAN/ULC 770.

For optimal roof performance and to prevent thermal bridging GAF recommends installing two layers of Polyiso with staggered joints.



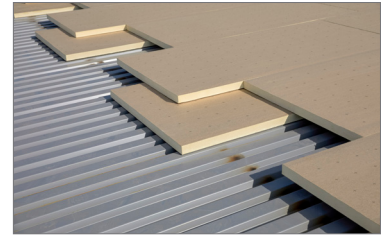
† GAF manufacturing locations in UT and PA.



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Sustainability:

- Manufactured with EPA-compliant blowing agents containing no CFCs or HCFCs; has zero ozone depletion potential (ODP) and negligible global warming potential (GWP)
- GREENGUARD Gold
- Green Circle Certified® for recycled content
- Potential LEED® Credits for Polyiso Use
- Environmental Product Declaration (EPD)



Typical Physical Property Data:

Property	Test Method	Values
Compressive Strength	ASTM D1621	Grade 2 – 20 psi min (138 kPa) Grade 3 – 25 psi min (172 kPa)
Dimensional Stability Change (length + width) ²	ASTM D2126	< 2% linear change
Flexural Strength	ASTM C203	40 psi min (275 kPa)
Tensile Strength	ASTM C209	500 psf min (24 kPa)
Water Absorption (percent by volume)	ASTM C209	1.5% max
Water Vapor Permeance	ASTM E96 Procedure A	< 1.5 perm max (85.8ng/Pa•s•m²)
Service Temperature		-100° to 250 °F (-73.3° to 121.1 °C)
Flame Spread Index ³	ASTM E84	< 75 ¹
Smoke Developed Index	ASTM E84	< 200 ¹

¹ Foam Core

² Stated dimensional stability tolerance: Board thickness shall not diminish by more than 4% max.

³ These numerical ratings are not intended to reflect hazards presented by these or any other material under actual fire conditions.

Warnings and Limitations:

- EnergyGuard™ Polyiso Insulation is a non-structural, non load-bearing material. It is not designed for direct traffic usage unless adequately protected.
- EnergyGuard™ Polyiso Insulation should be stored protected from the elements. Bundle wrap is not for use as waterproofing for boards. No more insulation should be installed than can be completely covered with roofing on the same day.
- As unprotected polyisocyanurate will burn, fire safety precautions should be observed wherever insulation products are used.
- Direct mopping or torching of modified bitumen roofing or direct mopping of built-up roofing (BUR) to EnergyGuard™ Polyiso Insulation is not approved. A properly installed cover board or base sheet must be used.
- Refer to PIMA Technical Bulletin No. 109 Storage and Handling Recommendations for Polyiso Roof Insulation at www.polyiso.org
- Refer to the application specifications in the current membrane manufacturer's application and specifications manual for proper installation procedures.



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DRILL-TEC™ #14 FASTENER

Description

Drill-Tec™ #14 Fastener is designed to secure insulation to heavy steel decks (18 ga. – 20 ga.), wood decks, and structural concrete. It is available in lengths from 1-1/4" – 16" (31.8 – 406 mm). The Drill-Tec™ #14 Fastener is Factory Mutual and Miami-Dade County Product Control approved.

Application

The Drill-Tec™ #14 Fastener must penetrate steel decks a minimum of 3/4" (19.1 mm), wood plank decks a minimum of 1" (25.4 mm), and 1/2" (12.7 mm) through the underside for plywood decks. The Drill-Tec™ #14 Fastener requires a minimum embedment of 1" (25.4 mm) penetration into structural concrete. Pre-drill a 3/16" (4.76 mm) pilot hole using a carbide-tip SDS bit. The pre-drilled pilot hole must be a minimum of 1/2" (12.7 mm) deeper than the fastener embedment (at least a 2" [51 mm] deep pilot hole recommended). Using a screw shooter, drive the fastener until the screw head is seated securely; with very rigid insulation boards, watch for the plate to dimple.

Note: Be careful not to overdrive the fastener and fracture the skin of the insulation. Fastener must be tight enough so that the plate doesn't turn.

Code Approvals



Advantages

- Heavier shank & thread diameters than most "heavy duty" roofing fasteners.
- Deep thread for high pull-out resistance.
- Extra sharp drill point for quick installation in new or reroof applications.

Plates & Accessories

- Use 3" (76 mm) steel or plastic plates, depending upon the application.
- For best installation results, use a variable speed 0-2500 rpm screw gun.

Drill-Tec™ #14 Fastener



Specifications

The fastener will be a Drill-Tec™ #14 Fastener with a shank diameter of .190 (.423 mm) and a thread diameter of .245 (6.22 mm). The fastener must have 10 threads per inch (per 25.4 mm) and have a 30° drill point. Also, the fastener must be heat treated per specification OMG-1. The Drill-Tec™ #14 Fastener will be used with a Factory Mutual-approved, Drill-Tec™ Round Pressure Plate. The fastener must be Factory Mutual approved.

Coating Requirement

The fastener will be coated with the Drill-Tec™ CR-10 corrosion-resistant coating. When subjected to 30 Kesternich cycles (DIN 50018), the fastener must show less than 15% red rust and surpass Factory Mutual Approval Standard 4470.

Product Data

Thread Diameter	.245" (6.22 mm)
Shank Diameter	.190" (.423 mm)
Head Diameter	.435" (11.04 mm)
Head Style	#3 Phillips Truss Head*
Coating	CR-10

*#3 Phillips bit included in each carton or bucket

Length	Thread Length	Packaging	Weight
1 1/4" (31.8 mm)	Full	1,000*	13 lb (5.90 kg)
1 3/4" (44.4 mm)	Full	1,000*	17 lb (7.71 kg)
2" (51 mm)	Full	1,000*	19 lb (8.62 kg)
3" (76 mm)	Full	1,000*	27 lb (12.25 kg)
4" (102 mm)	3" (76 mm)	1,000*	35 lb (15.88 kg)
5" (127 mm)	4" (102 mm)	500*	23 lb (10.43 kg)
6" (152 mm)	4" (102 mm)	500*	26 lb (11.79 kg)
7" (178 mm)	4" (102 mm)	500*	30 lb (13.61 kg)
8" (203 mm)	4" (102 mm)	500*	34 lb (15.42 kg)
9" (227 mm)	4" (102 mm)	500**	37 lb (16.78 kg)
10" (254 mm)	4" (102 mm)	500**	40 lb (18.14 kg)
11" (279 mm)	4" (102 mm)	500**	44 lb (19.96 kg)
12" (305 mm)	4" (102 mm)	250**	25 lb (11.34 kg)
14" (357 mm)	4" (102 mm)	250**	29 lb (13.15 kg)
16" (406 mm)	4" (102 mm)	250**	38 lb (17.24 kg)
18" (457 mm)	4" (102 mm)	250**	41 lb (18.6 kg)
20" (508 mm)	4" (102 mm)	250**	47 lb (21.32 kg)
22" (558.8 mm)	4" (102 mm)	250**	51 lb (23.13 kg)
24" (609 mm)	4" (102 mm)	250**	56 lb (24.4 kg)

*Bucket **Box
Longer Lengths Available Upon Request.
Call GAF For Information.

Example: Drill-Tec™ #14 Fastener Length Selection Procedure

1. If applicable, determine thickness of existing roofing material.
2. Add thickness of new insulation.
3. Add 3/4" (19.1 mm) minimum fastener penetration.
4. If odd size requirement, always size up in length, not down. See example below.

Example

Existing Roofing:	1 3/4" (44.4 mm)
New Insulation:	+ 1/2" (12.7 mm)
Min. Embedment:	+ 3/4" (19.1 mm)
Total Fastening Range:	= 3" (76 mm)

The proper #14 Fastener for the example is 3" (76 mm).

Use this format to calculate correct fastener size:

Existing Roof:	
New Insulation:	+
Min. Embedment:	+ 3/4" (19.1 mm)
Total Fastening Range:	=

The proper #14 Fastener is:

ROOF DRAINAGE SOLUTIONS

Proper roof drainage is the best way to protect your client's home and foundation from damaging water runoff. From high-end gutter systems in styles they'll love to gutter trim, Berger has what you need. Choose from a variety of colors and materials like aluminum, steel and copper.

- Available in painted aluminum, copper, painted steel, galvanized steel and paint grip steel
- Gutter and accessories to fit most needs
- Offered in a variety of popular colors

GUTTERS: K-STYLE GUTTERS

MATERIALS & PACKAGING:

ALUMINUM COPPER STEEL


All thicknesses and dimensions are nominal.

Gutters are available in standard 10', 20' and 30' lengths. Contact Customer Care for nonstandard lengths.


For proper ordering, enter length code (_ _) and color code (• •). For example: K_ _ • • 5 filled out as K10BR5 would be a 5" Aluminum Painted Brown 10' hemback K-style gutter.

Partial carton quantities available for gutter products, additional fee applies.

Note: FreedomGray™ is copper-coated with a unique, patented tin-zinc alloy. It offers all the advantages of copper in a naturally weathering earth tone gray color.

	SIZE	THICKNESS	COLOR	SKU	PACKAGING
 <p>HEMBACK</p>	5"	0.024	Mill Finish	K10MF5	10
	5"	0.027	HG BR 30W BK	K_ _ • • 5	10
	5"	0.032	32 B3	K_ _ • • 5	10
	6"	0.032	Mill Finish	K10MF6	5
	6"	0.032	32 BR DB	K_ _ • • 6	5



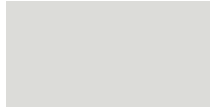
SIZE	THICKNESS	COLOR	SKU	PACKAGING																					
2" x 3"	0.016	W B	DSSCPE•3	10																					
2" x 3"	0.019	<table border="1"> <tr><td>30W</td><td>80W</td><td>AL</td></tr> <tr><td>ADB</td><td>BL</td><td>LI</td></tr> <tr><td>DB</td><td>GG</td><td>HC</td></tr> <tr><td>HE</td><td>LM</td><td>BZ</td></tr> <tr><td>MB</td><td>AMB</td><td>NC</td></tr> <tr><td>PG</td><td>PB</td><td>RB</td></tr> <tr><td>SW</td><td></td><td></td></tr> </table>	30W	80W	AL	ADB	BL	LI	DB	GG	HC	HE	LM	BZ	MB	AMB	NC	PG	PB	RB	SW			DS310••	10
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ADB	BL	LI																							
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ADB	BL	LI																							
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4" x 5"	0.019	Low-Gloss White 	DS51030W	10																					
4" x 5"	0.024	HG DB	DSSCP••5	10																					
4" x 5"	0.024	Mill Finish	DSSCPMF5	10																					

ALUMINUM

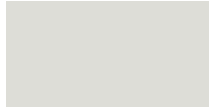


SENTRICLAD FULL ARCHITECTURAL COLOR PALETTE

CORE COLORS



Regal White □
SR: .70 IE: .85 SRI: 85



Bone White □
SR: .68 IE: .86 SRI: 82



Stone White Δ
SR: .62 IE: .85 SRI: 73



Almond Δ
SR: .63 IE: .86 SRI: 75



Sandstone Δ
SR: .47 IE: .86 SRI: 53



Sierra Tan
SR: .30 IE: .85 SRI: 30



Medium Bronze
SR: .26 IE: .84 SRI: 24



Mansard Brown
SR: .29 IE: .86 SRI: 29



Dark Bronze
SR: .26 IE: .84 SRI: 25



Extra Dark Bronze-
SR: .05 IE: .89 SRI: -1



Patina Green
SR: .25 IE: .87 SRI: 24



Classic Green
SR: .25 IE: .86 SRI: 24



Hartford Green-**
SR: .10 IE: .86 SRI: 4



Teal**
SR: .28 IE: .87 SRI: 28



True Black
SR: .05 IE: .89 SRI: -1



Slate Blue
SR: .27 IE: .86 SRI: 26



Regal Blue**
SR: .30 IE: .86 SRI: 30



Terra Cotta
SR: .39 IE: .85 SRI: 42



Banner Red**
SR: .44 IE: .86 SRI: 49



Colonial Red
SR: .31 IE: .87 SRI: 31



Brandywine**
SR: .27 IE: .87 SRI: 27



Dove Gray
SR: .49 IE: .87 SRI: 56



Slate Gray Δ
SR: .37 IE: .86 SRI: 39



Charcoal
SR: .08 IE: .90 SRI: 33



Matte Black
SR: .26 IE: .86 SRI: 85



Silversmith Δ S15** ✦
SR: .48 IE: .80 SRI: 52



Champagne S20** ✦
SR: .37 IE: .83 SRI: 38



Pewter S11** ✦
SR: .36 IE: .85 SRI: 38



Bright Copper Δ S25** ✦
SR: .41 IE: .85 SRI: 44



Bright Silver Δ S66** ✦
SR: .55 IE: .77 SRI: 61



Aged Copper Metallic** ✦
SR: .25 IE: .85 SRI: 23

✦ Featuring a pearlescent mica finish; subject to premium pricing. Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles and under different lighting conditions. Due to product improvements, changes and other factors, we reserve the right to change or delete information herein without prior notice.

Acrylic Coated Galvalume also available (not pictured).

26G LOW GLOSS COLORS



Sierra Tan
SR: .46 IE: .87 SRI: 52



Slate Gray
SR: .37 IE: .86 SRI: 39



Medium Bronze
SR: .31 IE: .87 SRI: 32



Dark Bronze
SR: .28 IE: .86 SRI: 27



Colonial Red
SR: .31 IE: .87 SRI: 31



Regal White □
SR: .70 IE: .85 SRI: 85



Dove Gray
SR: .49 IE: .87 SRI: 56



Classic Green
SR: .31 IE: .87 SRI: 32



Hartford Green**
SR: .46 IE: .87 SRI: 32



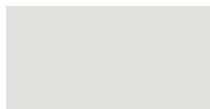
Slate Blue
SR: .30 IE: .87 SRI: 31



Matte Black
SR: .26 IE: .86 SRI: 25



Mansard Brown
SR: .29 IE: .86 SRI: 29



Bone White □
SR: .68 IE: .86 SRI: 82



Terra Cotta
SR: .39 IE: .85 SRI: 42



Charcoal
SR: .30 IE: .87 SRI: 31



Bright Silver**
SR: .55 IE: .77 SRI: 61



Bright Copper**
SR: .41 IE: .85 SRI: 44

ARCHITECTURAL PVDF				STEEL				ALUMINUM			
COLOR	SR	IE	SRI	26GA. ¶	24GA. †	22GA. ‡§	18GA. ‡§	.032" †	.040" †	.050" †§	.063" †§
Regal White	.70	.85	85	LG^	●■	●	●	●■	●	●	●
Bone White	.68	.86	82	LG^	●■	●	●	●■	●	●	●
Stone White	.62	.85	73		●■			●■	●		
Almond	.63	.86	75		●■			●■	●	●	
Sandstone	.47	.86	53		●■	●		●■	●	●	
Sierra Tan	.30	.85	30	LG^	●■			●■	●	●	●
Medium Bronze	.26	.84	24	LG^	●■	●	●	●■	●	●	●
Mansard Brown	.29	.86	29	LG^	●■			●■	●	●	
Dark Bronze	.28	.86	27	LG^	●■	●	●	●■	●	●	●
Extra Dark Bronze	.05	.89	-1.0		●■			●■		●	
Patina Green	.25	.87	24		●■			●■	●		
Classic Green	.25	.86	24	LG^	●■	●		●■	●		
Hartford Green **	.08	.09	4.0	LG	●■			●■		●	
Teal **	.28	.87	28		●						
Slate Blue	.26	.86	25	LG^	●■			●■	●		
Regal Blue **	.28	.87	28		●■			●■	●		
Terra Cotta	.39	.85	42	LG^	●■			●■			
Banner Red **	.44	.86	49		●■			●■			
Colonial Red	.31	.87	31	LG	●■			●■			
Brandywine **	.27	.87	27		●■			●■			
Dove Gray	.49	.87	56	LG^	●■			●■			
Slate Gray	.37	.86	39	LG^	●■			●■	●	●	
Charcoal	.32	.86	33	LG^	●■	●		●■	●	●	●
Matte Black	.26	.86	25	LG^	●■	●		●■	●	●	●
True Black	.05	.89	-1		●■						
Bright Silver **	.55	.77	61	^	●■			●■	●	●	
Silversmith **	.48	.80	52		●■			●■			
Champagne **	.37	.83	38		●■			●■			
Pewter **	.36	.85	38		●■			●■			
Bright Copper **	.41	.85	44	^	●■			●■			
Aged Copper Metallic **	.25	.85	23		●■			●■			

PAINT PERFORMANCE PROPERTIES	HOT DIPPED GALVANIZED STEEL OR GALVALUME®	ALUMINUM
Accelerated Weathering ASTM D 4587 (Drew Cycle Weatherometer) ASTM G-154 Chalk Rating Per ASTM D 4214, Method A	Hours: 3,000 Total Chalk: Rating 8 Color: 5 Δ E Hunter units max Hours: 5,000 Total Chalk: Rating 6 Color: 5 Δ E Hunter units max	Hours: 3,000 Total Chalk: Rating 8 Color: 5 Δ E Hunter units max Hours: 5,000 Total Chalk: Rating 6 Color: 5 Δ E Hunter units max
Salt Spray ASTM B 117	Hours: 1,000 Total Scribe: Rating 1/8" (2mm) Field: Rating 10, no blisters	Hours: 3,000 Total Scribe: Rating 10, no creepage Field: Rating 10, no blisters
Humidity ASTM D 2247	Hours: 2,000 Total Rating: 10, no blisters per ASTM D 714	Hours: 3,000 Total Rating: 10, no blisters per ASTM D 714
Formability ASTM D 4145	0T- 2T	0T- 2T
ASTM D 522 (Elongation over 1/8" mandrel)	No cracking No loss of adhesion	No cracking No loss of adhesion
Pencil Hardness ASTM D 3363	HB-2H	HB-2H
Abrasion Resistance ASTM D 968	55-75 Liters of falling sand	55-75 Liters of falling sand
Specular Gloss ASTM D 523	30 +/- 5 at 60° 55 +/- 5 at 85°	30 +/- 5 at 60° 55 +/- 5 at 85°
Reverse Impact ASTM D 2794	2 x Metal thickness in inch-lbs. No loss of adhesion. No cracking.	1/2 x Metal thickness in inch-lbs. No loss of adhesion. No cracking.
Flame Test ASTM E 84	Class A rated coating	Class A rated coating

† Standard Coil Width is 48.25"
‡ Standard Coil Width is 22 GA 48.25" 18 GA 44.375"
§ Standard Color Option.
■ 40.5" Coil Option is Available.
▲ Additional Lead Times May Apply.
¶ Standard Coil Width 40.5"
LG Refers to Reflective Ratings
^ Offered in 27-1/2" coil width
++ Denotes Mica Colors
** Denotes exotic colors and are subject to premium pricing

SHERWIN-WILLIAMS
Coil Coatings

Sherwin-Williams® is a trademark of SWIMC LLC.

SRI RATINGS ARE FOR GALVALUME ONLY. ALUMINUM RATINGS ARE LISTED ON WWW.SENTRIGARD.COM

****PLEASE REFER TO SENTRIGARD.COM FOR THE MOST UP TO DATE COLOR LISTING AND AVAILABILITY****

NOTES ON AVAILABILITY:

- 24ga, .032, .040, .050, .063 are standard 48.25" in width. 22ga 48.25" and 18ga 44.375" in width. 26ga is 40.5" standard width for painted items.
- Protective stippable film is standard on flat sheets.
- Mica++ and exotics ** are subject to premium pricing. Due to the unique effect of the Mica finishes, appearances may vary from batch to batch.
- Standard inventory is non-embossed. Embossed requests are to be quoted.
- Unpainted, acrylic coated, aluminum-zinc alloy steel (AZ55) is maintained in 26ga 20", 26ga 27-1/2", 26ga 24", 24ga 20", 24ga 27-1/2", 24ga 24" slit coils and 26ga 48"x120", 24ga 48"x120" flat sheets (no strippable film).
- All colors are supplied in Medium Gloss (20-35 at 60 deg). Low gloss on non 26ga available subject to minimum coating run.
- This color chart is subject to change without notice.

Sentriclad® standard architectural colors and finishes feature 70% polyvinylidene fluoride (PVDF) resin paint systems to ensure long-term color retention and performance. Custom Colors and finishes are also available. Minimum quantities and set up charges may apply.

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3/24 23M

Jeff Money

Ruff Roofers

Mar 13, 2026 | 4 Photos



Cultivating Wellness Gutter and Spout Pictures (Before)

Section 1

1



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:36 AM

Creator: Emmett Kauffman

2



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:36 AM

Creator: Emmett Kauffman

3



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:40 AM

Creator: Emmett Kauffman

4



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:41 AM

Creator: Emmett Kauffman

Jeff Money

Ruff Roofers

Mar 12, 2026 | 6 Photos



Cultivating Wellness Before Photos

Section 1

1



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:38 AM

Creator: Emmett Kauffman

2



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:40 AM

Creator: Emmet: Kauffman

3



Project: Cultivated Wellness - 31 E. Dover St - JN-62981
Date: Feb 25, 2026, 7:40 AM
Creator: Emmett Kauffman

4



Project: Cultivated Wellness - 31 E. Dover St - JN-62981
Date: Feb 25, 2026, 7:40 AM
Creator: Emmett Kauffman

5



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:40 AM

Creator: Emmett Kauffman

6



Project: Cultivated Wellness - 31 E. Dover St - JN-62981

Date: Feb 25, 2026, 7:40 AM

Creator: Emmett Kauffman