



Easton Staff Development Review MEETING AGENDA

Thursday, September 10, 2026 - 1:00 PM
Council Chambers, Easton Town Office
14 S Harrison Street

1. 1:00 p.m. - 1:30 p.m.

- a. Application Number:** 2026 - 1826 / ESDR 26 - 15
Applicant: Rauch Inc.
Location: 51 Jowite Street
Tax Map 0104, Grid 00EA, Parcel 1367A
Zoning District: MXW
Request: Pre-submission proposal for the renovation of the existing Parkway Apartments complex, and the construction of a new 2,500 sq ft community building.



Easton Parkway Apartments

TALBOT COUNTY, MARYLAND

PROJECT DIRECTORY

CO-DEVELOPER/OWNER:

PAX DEVELOPMENT, LLC
1938 ROCK SPRING ROAD, SUITE J
FOREST HILL, MD 21050
(443) 818-3012

CO-DEVELOPER/OWNER:

FOUNDATION DEVELOPMENT
GROUP, LLC
10220 OLD COLUMBIA ROAD, SUITE M
COLUMBIA, MD 21046
(410) 571-4436

ARCHITECT:

ARCHITECTURE BY DESIGN, INC.
8355 COURT AVENUE
ELLICOTT CITY, MD 21043
(410) 480-3210

CONTRACTOR:

HARPER & SONS INC.
9071 CENTREVILLE ROAD
EASTON, MD 21601
(410) 820-2000

CIVIL ENGINEER:

RAUCH
106 N. HARRISON STREET
EASTON, MD 21601
(410) 710-9081

AREA TABULATION

DWELLING UNIT AREAS					
UNIT	UNIT TYPE	UNIT GSF	QUANTITY	QUANTITY TYPE	TOTAL GSF
A	1BR/1BA	661	6	10	3966
A1	1BD/1BA	631	3		1893
A-UFAS	1BD/1BA	636	1		636
B	2BD/1BA	741	16	20	11856
B1	2BD/1BA	742	2		1484
B2	2BD/1BA	1202	1		1202
B-UFAS	2BD/1BA	749	1		749
C	3BD/1BA	1224	13	14	15912
C-UFAS	3BR/1BA	1296	1		1296
UNIT TOTALS			44		38994
BUILDING AREAS					
BUILDING TYPE		GSF	QUANTITY		TOTAL GSF
COMMUNITY BUILDING		2304	1		2304
BUILDING 100		5983	1		5983
BUILDING 200		6266	1		6266
BUILDING 300		6266	1		6266
BUILDING 400		6266	1		6266
BUILDING 500		7911	1		7911
BUILDING 600		7911	1		7911
BUILDING TOTALS			7		43039
PROJECT TOTAL					43039

UNIT GROSS AREA MEASURED FROM FACES OF EXTERIOR WALLS AND CENTERLINES OF DWELLING SEPARATION WALLS.

DRAWING LIST

C9	COVER SHEET
A9P	ARCHITECTURAL SITE PLAN
I9P	ILLUSTRATIVE SITE PLAN
A1	BUILDING DEMOLITION PLAN- BUILDING 100
A2	BUILDING DEMOLITION PLAN- BUILDING 200, 300 & 400
A3	BUILDING DEMOLITION PLAN- BUILDING 500 & 600
A4	NEW BUILDING PLANS - BUILDING 100
A5	NEW BUILDING PLANS - BUILDING 200, 300 & 400
A6	NEW BUILDING PLANS - BUILDING 500 & 600
A7	BUILDING ELEVATIONS - BUILDING 100
A8	BUILDING ELEVATIONS - BUILDING 200, 300 & 400
A9	BUILDING ELEVATIONS - BUILDING 500 & 600
A10	ENLARGED ELEVATIONS
A11	A TYPE UNIT PLANS
A12	B TYPE UNIT PLANS
A13	B TYPE UNIT PLANS
A14	C TYPE UNIT PLANS
A15	A & B TYPE UFAS UNIT PLANS
A16	C TYPE UFAS UNIT PLANS
A17	BUILDING SECTION & TYPICAL CONSTRUCTION NOTES
A18	AIR SEALING DETAILS (RENOVATION/ADDITION)
A19	NEW COMMUNITY BUILDING FLOOR PLAN
A20	NEW COMMUNITY BUILDING ELEVATIONS
A21	NEW COMMUNITY BUILDING ELEVATIONS
A22	NEW COMMUNITY BUILDING SECTIONS & TYP. CONSTRUCTION NOTES
A23	AIR SEALING DETAILS (NEW CONSTRUCTION)

GENERAL NOTES

- INFORMATION IS DERIVED FROM LIMITED FIELD DATA AND DIMENSIONS. CIVIL/SITE DATA DERIVED FROM GIS DATA.
- INFORMATION SHOWN IN NOTE BOXES ON DRAWINGS INDICATE WORK IN RENOVATION SCOPE.

SCOPE NOTES	THRESHOLD
1.	1.
2.	2.

SCOPE NOTES W/ LEADERS (APPLIES TO ALL PLANS, SECTIONS, ELEVATIONS, ETC. ON SHEET)

DEV. QUALITY
1.
2.

CODE DATA

PROJECT IS LOCATED IN THE TOWN OF EASTON IN TALBOT COUNTY, MD.

APPLICABLE CODES:
MARYLAND BUILDING PERFORMANCE STANDARDS (STATE CODE)
2021 INTERNATIONAL EXISTING BUILDING CODE (EXISTING APARTMENTS)
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL RESIDENTIAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 LIFE SAFETY CODE (NFPA 101)

OTHER REGULATIONS:
MARYLAND ACCESSIBILITY CODE (COMAR 09.12.51)
UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
AMERICAN WITH DISABILITIES ACT
TALBOT COUNTY AMENDMENTS TO THE BUILDING & RELATED CODES (FAIR HOUSING NOT APPLICABLE FOR ACCESSIBILITY, FIRST OCCUPIED PRIOR TO MARCH 13, 1991)

ENERGY & GREEN CERTIFICATES:
NATIONAL GREEN BUILDING STANDARDS (NGBS)

PROJECT ANALYSIS:

THE PROJECT CONSISTS OF A SUBSTANTIAL REHABILITATION OF THE UNITS AND LEASING CENTER. THIS IS NOT A GUT REHABILITATION.

TOWNHOUSE/ APARTMENTS (IEBC/BC/IRC)
44 TOTAL UNITS: EXISTING MULTILEVEL (TOWNHOUSE STYLE) UNITS, EXISTING 1-STORY FLAT UNITS AND 2 GARDEN STYLE BUILDINGS. ALL WOOD FRAME 1-STORY & 2-STORY BUILDINGS. THREE (3) UNITS WILL BE RENOVATED TO COMPLY WITH SECTION 504 (UFAS) MOBILITY REQUIREMENTS. ONE (1) ADDITIONAL UNIT WILL BE RENOVATED TO INCLUDE A/V STANDARDS. USE GROUP R2 & R3
TYPE OF CONSTRUCTION 5B
SPRINKLER SYSTEM: NEW SPRINKLER SYSTEM TO BE ADDED TO EXISTING. PROVIDED IN NEW NFPA 13R/D (AS APPLICABLE)

COMMUNITY BUILDING (IEBC/IBC)
1 STORY WOOD FRAME SLAB ON GRADE STRUCTURE.
USE GROUP CLASSIFICATION: - B (BUSINESS)
CONSTRUCTION TYPE: - 5B
SPRINKLER SYSTEM: - YES. LIMITED AREAS (LAUNDRY ROOM, BUILDING NOT FULLY SPRINKLED).

THRESHOLD STNDS. CHECKLIST

EASTON PARKWAY RENOVATION		Exhibit E.1
DEVELOPMENT QUALITY THRESHOLD MANDATORY STANDARDS CHECKLIST		
Minimum Mandatory Standards *	Prov	Notes
Criteria Applicable to both New Construction and Rehabilitation (2026 Program Guide 3.13.1)		
1. Codes - Demonstrate compliance with all applicable state and local building, energy, and accessibility codes.	✓	See code data
2. Accessibility - All projects must comply with UFAS and 2010 ADA, and employ a building accessibility consultant.	✓	See code data & UFAS plans.
3. Energy Consultant - A certified RESNET/IBPI rater will assure quality and perform testing, to confirm selected energy goals.	✓	See docs.
4. Pest Management - Integrated Pest Management program, equivalent to the HUD Healthy Homes Initiative.	✓	See specs.
5. Roofing - High performance, durable roofing, with warranties of 20+ years for flat roofs & 30+ years for pitched shingle roofs.	✓	See specs.
6. Doors - Minimum of 20 gauge metal, solid core wood, or top quality foam filled fiberglass entry doors, unit entrance doors with durable frames and hardware for exterior entry; minimum 22 ga. for interior unit entry doors.	✓	See specs.
7. Laundry - (1:14 for fam/ 1:25 for senior) with means to drain, dryers vented to exterior & compliance w/ all state & federal accessibility requirements. All senior buildings will provide side by side front load appliances (or hookups for) a min of 25% of the total units.	✓	See plans.
8. Internet - Capacity to access technology for high-speed Internet in each unit and in community spaces. Free wireless internet access required at community and lovable spaces.	✓	See specs, and plans.
9. Installation - Products and materials installed in accordance with manufacturer's installation instructions.	✓	See specs.
10. EV Charging - Install one dual, level two or higher, station, on a convenient and accessible path, and designated parking.	✓	See site plan.
11. Demo Plan - For demolition, submit schematic demo plans and specs that detail waste & hazardous material management.	✓	See site plan.
12. Site Work - Follow MDE 2011 Standards for Soil Erosion and Sediment Control. Limit area of disturbance to work area.	✓	See specs
13. Landscaping - New plantings shall utilize at least 50% native plants. Protect & preserve trees & root zones during const.	✓	See specs
14. Construction Waste Recycling - Implement a plan to collect, separate, and recycle, with detailed and adequate recordkeeping.	✓	See specs
15. Air Quality - Use Interior Air Quality criteria for paint, primer, sealant, & adhesives. Reference national standard (i.e., Green Seal), follow ANSI A208, and verify compliance with use of green products during review process.	✓	See specs
16. Carpet - Any carpet product (including carpet, pads, adhesives, etc.) must meet Green Label Plus Certification.	✓	See specs
17. Chlorofluorocarbons (CFC) - CFC prohibited in new HVAC equipment. Disposal standards specified where removed.	✓	See specs
18. Mold, Moisture & Mildew - For all projects, correct all observed areas of mold, mildew, and moisture infiltration within the building. On exist. structures areas identified in the B.E.R. Detailed plans to remedy and treat must be included in the DQ Threshold Narrative.	✓	See specs
19. Radon - Install passive radon reduction pipe system w/ vertical venting (convertible to mechanical) in Radon Area Zone 1.	✓	See plans.
20. Recycling - Provide space/containers on site for household recycling. Encourage recycling & provide adequate tenant educa.	✓	See specs
21. Water Saving - All fixtures/faucets/shower hds, & toilets must be water conserving. (Toilets 1.28 gpm min. fctd/hds 2.0 gpm min.)	✓	See specs
22. Smoking Areas - Project must be non-smoking indoors with outdoor designated smoking areas, 25 ft (minimum) away from vents and windows.	✓	See specs
23. Site Location - If project is located in FEMA Flood Zone C or X (unshaded) documentation will be provided by the engineer outlining the project's risk of flooding. If project is located in FEMA Flood Zone X (shaded), 100-year floodplain, or 500-year floodplain, a waiver request will be submitted with the required documentation.	✓	See specs
24. Habitat Protection - Adequate conservation efforts, per State & Federal requirements, if endangered species displaced from their prime habitat.	✓	See guide for more specifics
25. HVAC - Install Energy Star HVAC systems and components when replaced or installed on new construction.	✓	See specs
26. Appliances - All appliances, except microwave/ range hoods, are Energy Star, including vented bathroom exhaust fans.	✓	See specs
27. Lighting - Install only LED lighting fixtures or LED lamps with high efficiency (min. of 75 lumens/watt and 85 CRI) when lighting is replaced or installed.	✓	See specs
28. Fenestration - Install Energy Star windows on projects (3)-stories or less. Install windows to meet Energy Star Multifamily New Construction requirements on projects (4)-stories or greater.	✓	See specs
29. Cabinetry - Install Cabinetry that is plywood box construction with solid wood doors and durable finishes and hardware and includes door/drawer pulls.	✓	See specs
Criteria Applicable Only to New Construction, Gut Rehabilitation and Adaptive Reuse (2026 Program Guide 3.13.2)		
1. Certified under current Energy Star New Homes/ Energy Star Multifamily New Construction (waivers for gut rehabs and adaptive reuse).	N/A	
2. Meet visibility standards and universal design features in 25% of its units and common areas. Waivers may be requested for 0 step entry requirements, if existing won't allow (Gut rehab & adaptive reuse only).	N/A	
3. All supply ducting for split HVAC systems must be sealed and insulated.	N/A	
4. Paving at dumpster pad, access drive to dumpster, and return path of garbage truck (except for gut rehab).	N/A	
5. Bi-fold doors will not be used.	N/A	
6. Submit a B.E.R. (from a certified professional) that analyzes foundation and structure of a project. (Except New Construction)	N/A	
7. All projects to use high-performance, all-electric heating/cooling, domestic hot water equipment, & other appliances.	N/A	
Criteria Applicable Only to Rehabilitation (2026 Program Guide 3.13.3)		
1. Total hard construction costs of Rehabilitation must be at least \$25,000 per unit and supported by a B.E.R.	✓	See docs
2. The scope of work must include exterior renewal, to improve visual impact on the neighborhood.	✓	See specs, plans
3. Total upgrade of finishes, fixtures, systems, & site conditions at end of useful life/show excessive wear.	✓	See specs, plans
4. New mechanical ventilation must terminate at the exterior, not the attic or other unconditioned or interstitial space. Best efforts must be made to extend existing ventilation to terminate at the exterior.	✓	See specs, plans
5. Rehabs achieve 15% energy savings over existing. May complete other energy certifications from Section 4.6	✓	See docs
6. Install thermostats (where installed or replaced), programmed to IECC thermostat set-back guidance.	✓	See specs, plans
7. Air-sealing scope with minimum verification (10% blower test). Details to include unit compartmentalization and the building's thermal envelope. Typical details must include inherent design deficiencies specific to the building type.	✓	See docs
8. A building duct-sealing and insulation scope included in the project spec. (10% duct blaster tested). Schematic drawings for typical details must be included in the construction section of the App Sub package.	✓	See docs
9. Heating and cooling equipment must be sized per the ACCA Manuals (Parts J and S) or ASHRAE for post-rehab. Calculation worksheets must be submitted to DCHD at Viability Commitment if the project is approved for funding.	✓	See docs, plans
10. O&M manual w/ evaluation criteria, parameters, maintenance schedules, and checklists for systems.	✓	See specs
11. Management staff to provide continuing education, energy conservation tips, and written material to tenants.	✓	See specs
Lead Hazard Elimination Applicable Only to Rehabilitation (2026 Program Guide 3.13.4)		
1. All buildings must be certified by the MDE as lead-safe and meet HUD/EPA clearance standards.	✓	See specs
* The listed criteria are minimum mandatory standards and must be provided for a project to pass threshold. The complete descriptions can be found in the MD-DHCD Multifamily Rental Financing Program Guide, dated April 08, 2026, Development Quality Threshold Section 3.13.		

PROPERTY MAP



Architecture by Design

8355 Court Avenue • Ellicott City, MD 21043
phone 410-480-3210 • fax 410-480-2480
www.abd-architects.com

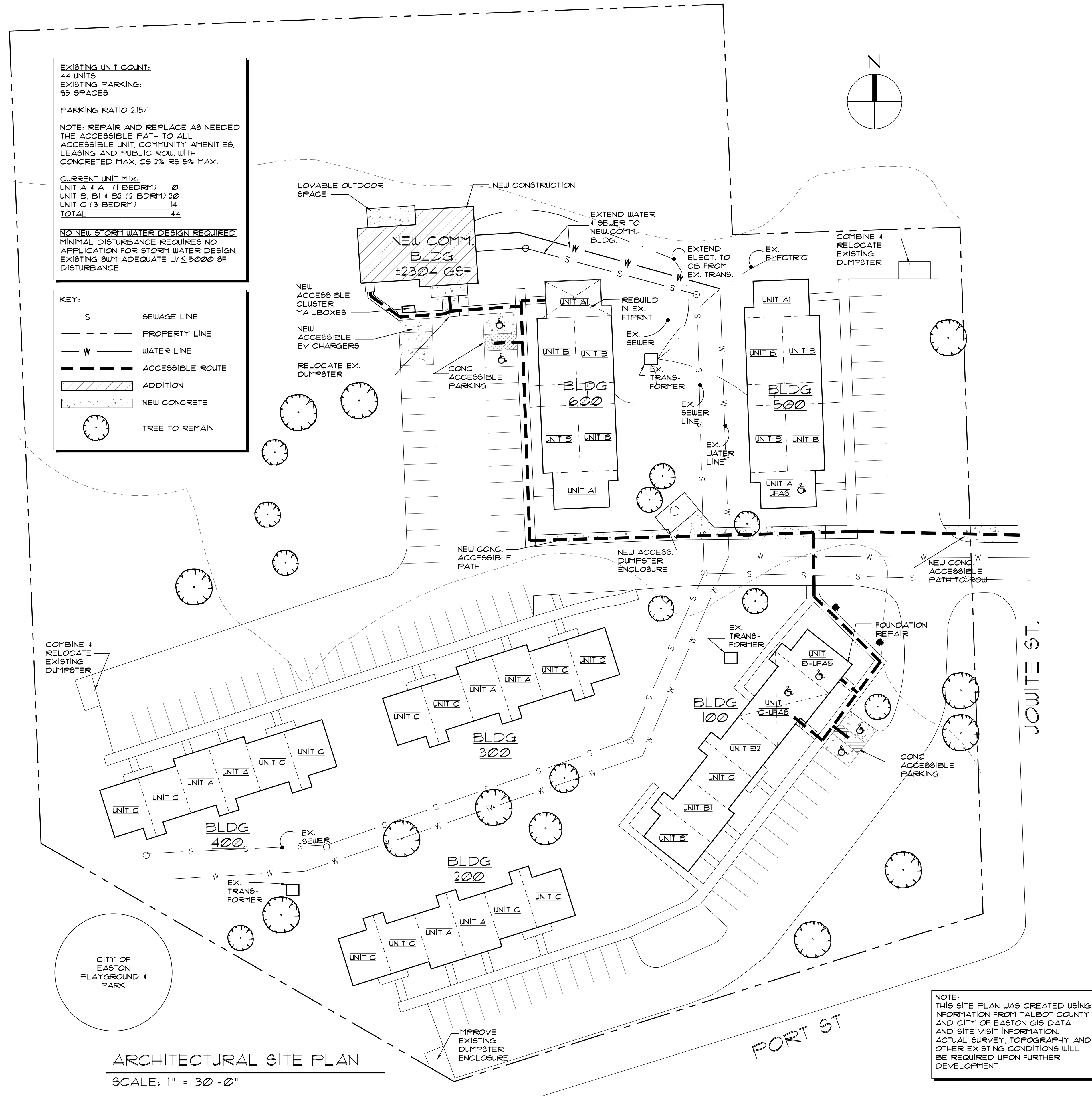
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
COVER SHEET
NO SCALE

ISSUED FOR:
APP SUBMISSION 7/15/2026

These drawings are schematic design documents only. They are intended to convey design intent and further development is necessary for construction documents. These documents should not be used for permitting purposes.

CS



- TYPICAL SITE PLAN NOTES - THRESHOLD:
1. ACCESSIBILITY - PROJECT COMPLIES WITH UFAS AND THE OTHER APPLICABLE ACCESSIBILITY LAWS OR REQUIREMENTS.
 2. ACCESSIBLE ELECTRIC VEHICLE CHARGING - ONE (1) DUAL LEVEL TWO (2) OR HIGHER CHARGING STATION WITH APPROPRIATE SIGNAGE ON AN ACCESSIBLE PATH WITH CONVENIENT ACCESS.
 3. DEMOLITION PLAN - PROJECT INCLUDES SOUND PRACTICES FOR MANAGING WASTE & HAZARDOUS MATERIALS.
 4. SITE WORK - MDE 2011 STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL WILL BE EMPLOYED DURING CONSTRUCTION. SITE WORK WILL BE COMPLETED WITH APPROVAL AND DIRECTION OF THE GEOTECHNICAL ENGINEER.
 5. LANDSCAPING - NEW PLANTINGS WILL UTILIZE 50% MIN. NATIVE OR REGIONALLY ADAPTED PLANTINGS.
 6. RECYCLING - CONTAINERS & SPACE FOR RECYCLING IS PROVIDED.
 7. SMOKING - PROJECT IS FULLY NON-SMOKING.
 8. SITE LOCATION - PROJECT IS NOT LOCATED IN FEMA FLOOD ZONE AREA.
 9. HABITAT PROTECTION - A 50+ YEAR OFFSITE CONSERVATION LEASE OR EASEMENT REPLACEMENT HABITAT IS PROVIDED.
 10. THE PROJECT MEETS VISIBILITY & UNIVERSAL DESIGN STANDARDS FOR 25% MIN. OF UNITS & COMMON AREAS.
 11. PAVING AT THE DUMPSTER PAD, ACCESS DRIVE, & TURNS OR RETURN PATH OF THE GARBAGE TRUCK ROUTE EQUAL LOCAL STANDARD DUTY RESIDENTIAL ROADWAY REQUIREMENTS.

- TYPICAL DEVELOPMENT QUALITY SITE PLAN NOTES:
1. BUILDING, PARKING, & OTHER IMPROVEMENTS ARE LAID OUT FOR CONVENIENT AND ACCESSIBLE ACCESS TO SITE & COMMUNITY AMENITIES, INCLUDING PUBLIC TRANSPORTATION.
 2. BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 3. PROJECT IS NOT LOCATED IN AN AREA WITH NEARBY LAND USES INCONSISTENT WITH RESIDENTIAL ACTIVITIES.
 - A. LOVABLE SPACES - COMMUNITY SPACES
PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.
PROVIDES THE FOLLOWING:
 - a. FITNESS CENTER WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
 - b. OUTDOOR SOCIAL AREA (I.E. ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
 - c. DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.

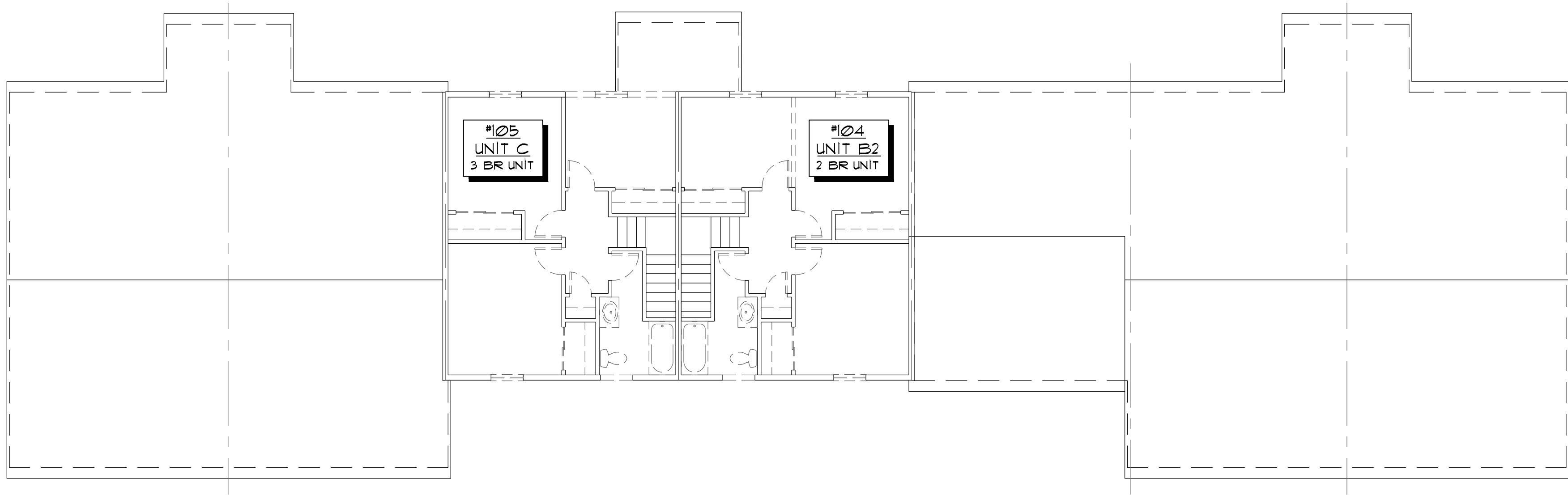


**TYPICAL SITE PLAN NOTES-
THRESHOLD:**

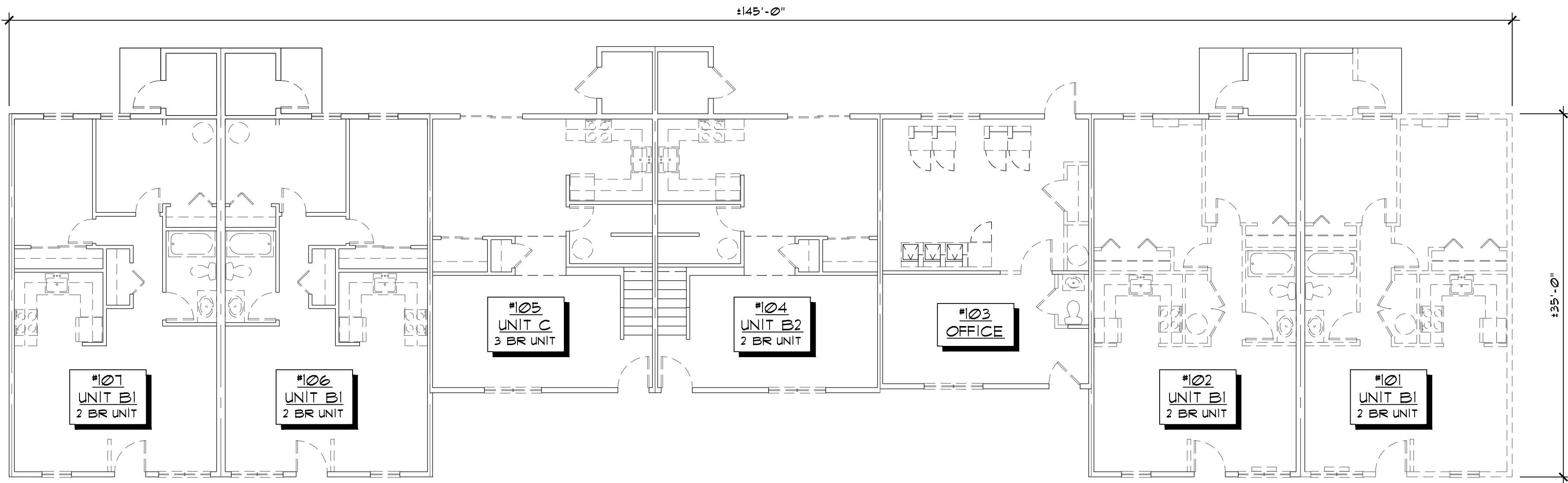
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**TYPICAL DEVELOPMENT
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- A. LOVABLE SPACES - COMMUNITY SPACES**
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 - b. OUTDOOR SOCIAL AREA (I.E. ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
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SECOND FLOOR DEMO PLAN
BUILDING 100



FIRST FLOOR DEMO PLAN
BUILDING 100

TYPICAL PLAN NOTES:

- SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING PLANS.
- PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
- REFER TO BUILDING 4 UNIT FLOOR PLANS FOR NEW WALL LOCATIONS.

SYMBOLS:

- INDICATES ITEM(S) TO BE REMOVED/ DEMOLISHED.
- INDICATES NEW WALL.
- INDICATES EXISTING WALL.

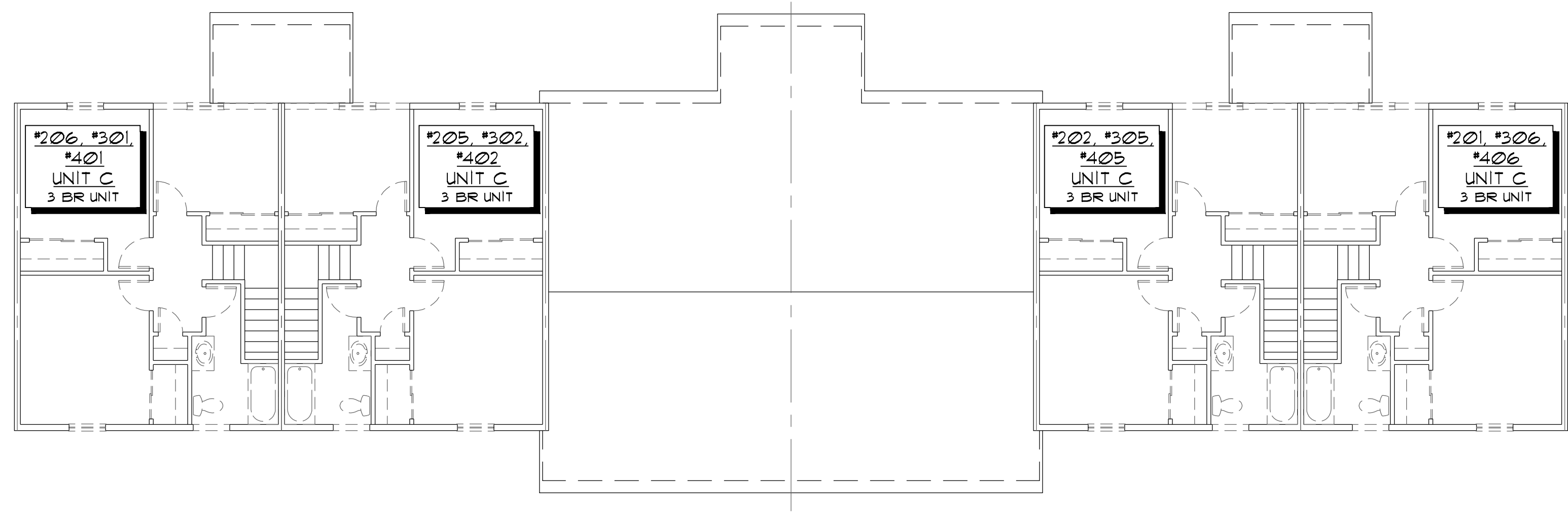
GENERAL DEMOLITION NOTES:

- REMOVAL OF A PARTICULAR ITEM, I.E. PARTITIONS WALLS, DOORS, ETC. IS TO INCLUDE ALL RELATED ITEMS: ELECTRICAL MECHANICAL & HARDWARE. COORDINATE REMOVAL &/OR SALVAGING OF MECHANICAL, ELECTRICAL, PLUMBING ITEMS W/ THE OWNER.
- IT IS ALSO TO INCLUDE PATCHING OF ANY HOLES OR DAMAGE TO EXISTING SURFACES THAT ARE TO REMAIN. ANY SURFACES DISTURBED BY REMOVALS THAT WILL BE EXPOSED AFTER NEW CONSTRUCTION IS COMPLETE, ARE TO BE RETURNED TO A LIKE NEW CONDITION W/ NEW MATERIALS TO MATCH SURROUNDING SURFACES. CARE IS TO BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE THE NEW CONSTRUCTION.
- WHERE REQUIRED FOR SAFE COMPLETION OF THE DEMOLITION WORK, PROVIDE SUITABLE BARRICADES, SHORING, BRACING, TEMPORARY WALLS & THE LIKE TO PREVENT THE SPREAD OF DUST & ELIMINATE ANY DANGER OF COLLAPSE. CAREFULLY INSPECT FRAMING & SUPPORT LOCATIONS PRIOR TO REMOVAL OF ANY WALL, FLOOR OR CEILING MATERIALS.

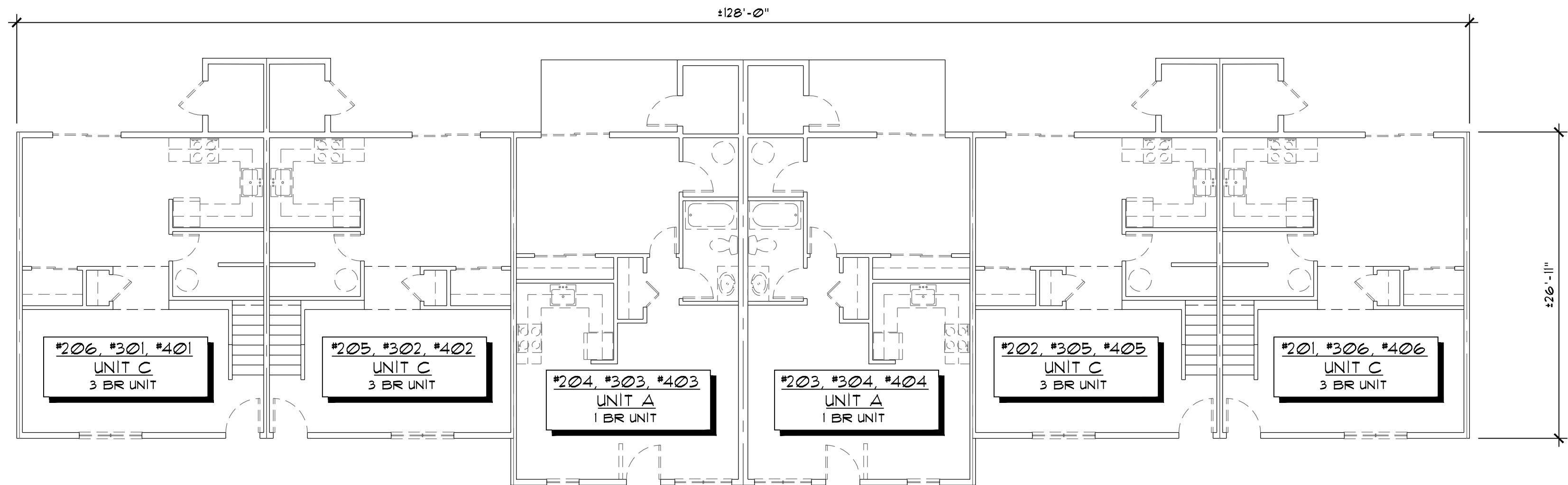
GENERAL UNIT NOTES:

- ASSUMPTIONS WERE BASED ON FIELD MEASUREMENTS TAKEN IN MAY 2026. ACTUAL CONDITIONS MAY VARY. VERIFICATION BY CONTRACTOR IS REQUIRED PRIOR TO COMMENCING WORK. ALL EXISTING CONDITION INCLUDING BEARING WALLS & STRUCTURAL COMPONENTS MUST BE VERIFIED PRIOR TO DEMOLITION.
- ITEMS DENOTED IN BOXES ARE TYPICAL FOR ALL UNITS AND INDICATE SCOPE FOR THE RENOVATION. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
- THIS IS A MODERATE REHAB.
- PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
- SEE TYPICAL CONSTRUCTION NOTES ON SHEET A15 FOR MORE INFORMATION.

BUILDING 100



SECOND FLOOR DEMO PLAN
BUILDING 200, 300 & 400



FIRST FLOOR DEMO PLAN
BUILDING 200, 300, & 400

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 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
 - REFER TO BUILDING & UNIT FLOOR PLANS FOR NEW WALL LOCATIONS.

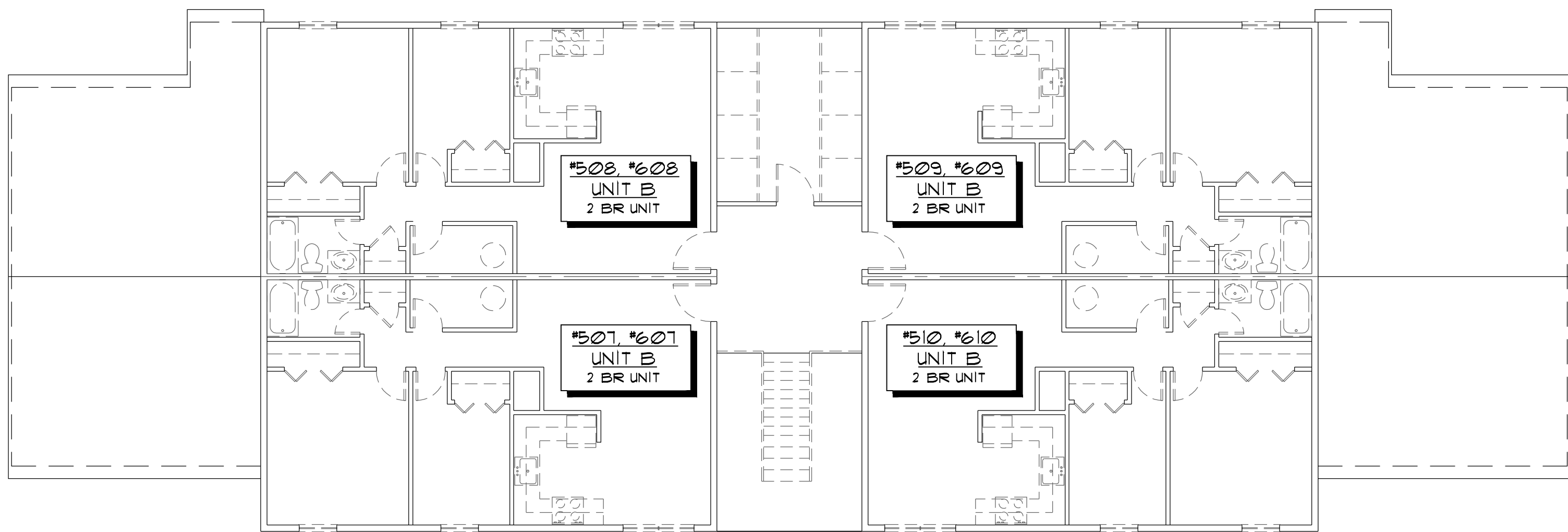
- SYMBOLS:**
- INDICATES ITEM(S) TO BE REMOVED/ DEMOLISHED.
 - ===== INDICATES NEW WALL.
 - ===== INDICATES EXISTING WALL.

- GENERAL DEMOLITION NOTES:**
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 - IT IS ALSO TO INCLUDE PATCHING OF ANY HOLES OR DAMAGE TO EXISTING SURFACES THAT ARE TO REMAIN. ANY SURFACES DISTURBED BY REMOVALS, THAT WILL BE EXPOSED AFTER NEW CONSTRUCTION IS COMPLETE, ARE TO BE RETURNED TO A LIKE NEW CONDITION W/ NEW MATERIALS TO MATCH SURROUNDING SURFACES. CARE IS TO BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE THE NEW CONSTRUCTION.
 - WHERE REQUIRED FOR SAFE COMPLETION OF THE DEMOLITION WORK, PROVIDE SUITABLE BARRICADES, SHORING, BRACING, TEMPORARY WALLS & THE LIKE TO PREVENT THE SPREAD OF DUST & ELIMINATE ANY DANGER OF COLLAPSE. CAREFULLY INSPECT FRAMING & SUPPORT LOCATIONS PRIOR TO REMOVAL OF ANY WALL, FLOOR OR CEILING MATERIALS.

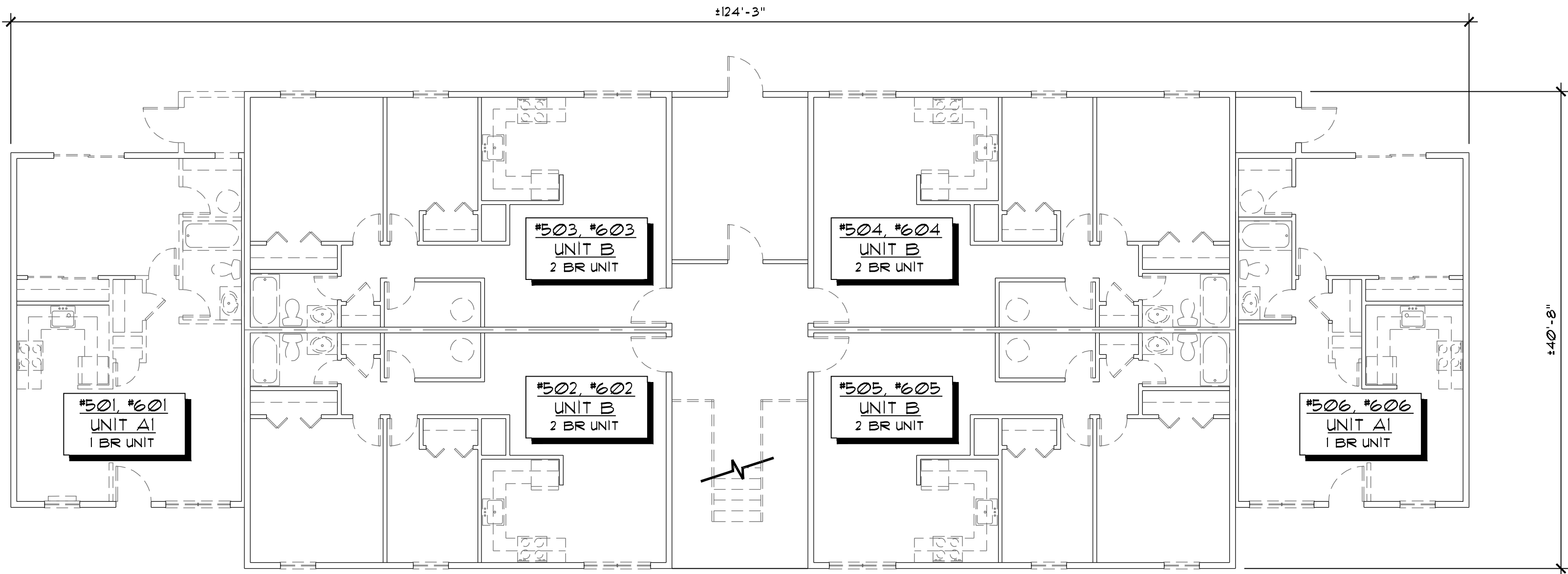
- GENERAL UNIT NOTES:**
- ASSUMPTIONS WERE BASED ON FIELD MEASUREMENTS TAKEN IN MAY 2026. ACTUAL CONDITIONS MAY VARY. VERIFICATION BY CONTRACTOR IS REQUIRED PRIOR TO COMMENCING WORK. ALL EXISTING CONDITION INCLUDING BEARING WALLS & STRUCTURAL COMPONENTS MUST BE VERIFIED PRIOR TO DEMOLITION.
 - ITEMS DENOTED IN BOXES ARE TYPICAL FOR ALL UNITS AND INDICATE SCOPE FOR THE RENOVATION. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
 - THIS IS A MODERATE REHAB.
 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
 - SEE TYPICAL CONSTRUCTION NOTES ON SHEET A18 FOR MORE INFORMATION.

BUILDING 200-400

A2



SECOND FLOOR DEMO PLAN
BUILDING 500 & 600



FIRST FLOOR DEMO PLAN
BUILDING 500 & 600

- TYPICAL PLAN NOTES:**
- SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING PLANS.
 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
 - REFER TO BUILDING & UNIT FLOOR PLANS FOR NEW WALL LOCATIONS.

- SYMBOLS:**
- INDICATES ITEM(S) TO BE REMOVED/ DEMOLISHED.
 - INDICATES NEW WALL.
 - INDICATES EXISTING WALL.

- GENERAL DEMOLITION NOTES:**
- REMOVAL OF A PARTICULAR ITEM, I.E. PARTITIONS WALLS, DOORS, ETC. IS TO INCLUDE ALL RELATED ITEMS; ELECTRICAL MECHANICAL & HARDWARE. COORDINATE REMOVAL 4/OR SALVAGING OF MECHANICAL, ELECTRICAL, PLUMBING ITEMS W/ THE OWNER.
 - IT IS ALSO TO INCLUDE PATCHING OF ANY HOLES OR DAMAGE TO EXISTING SURFACES THAT ARE TO REMAIN. ANY SURFACES DISTURBED BY REMOVALS, THAT WILL BE EXPOSED AFTER NEW CONSTRUCTION IS COMPLETE, ARE TO BE RETURNED TO A LIKE NEW CONDITION W/ NEW MATERIALS TO MATCH SURROUNDING SURFACES. CARE IS TO BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE THE NEW CONSTRUCTION.
 - WHERE REQUIRED FOR SAFE COMPLETION OF THE DEMOLITION WORK, PROVIDE SUITABLE BARRICADES, SHORING, BRACING, TEMPORARY WALLS & THE LIKE TO PREVENT THE SPREAD OF DUST & ELIMINATE ANY DANGER OF COLLAPSE. CAREFULLY INSPECT FRAMING & SUPPORT LOCATIONS PRIOR TO REMOVAL OF ANY WALL, FLOOR OR CEILING MATERIALS.

- GENERAL UNIT NOTES:**
- ASSUMPTIONS WERE BASED ON FIELD MEASUREMENTS TAKEN IN MAY 2026. ACTUAL CONDITIONS MAY VARY. VERIFICATION BY CONTRACTOR IS REQUIRED PRIOR TO COMMENCING WORK. ALL EXISTING CONDITION INCLUDING BEARING WALLS & STRUCTURAL COMPONENTS MUST BE VERIFIED PRIOR TO DEMOLITION.
 - ITEMS DENOTED IN BOXES ARE TYPICAL FOR ALL UNITS AND INDICATE SCOPE FOR THE RENOVATION. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
 - THIS IS A MODERATE REHAB.
 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
 - SEE TYPICAL CONSTRUCTION NOTES ON SHEET A15 FOR MORE INFORMATION.

BUILDING 500 & 600

A3

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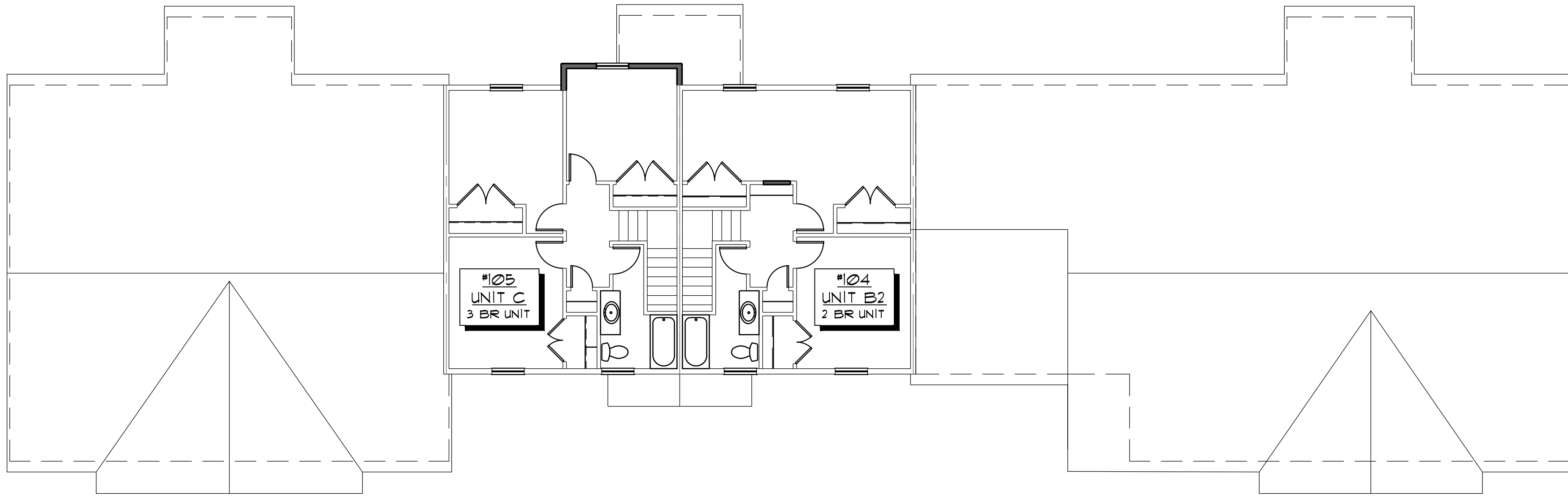
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
BUILDING DEMO PLANS
SCALE: 1/8" = 1'-0"

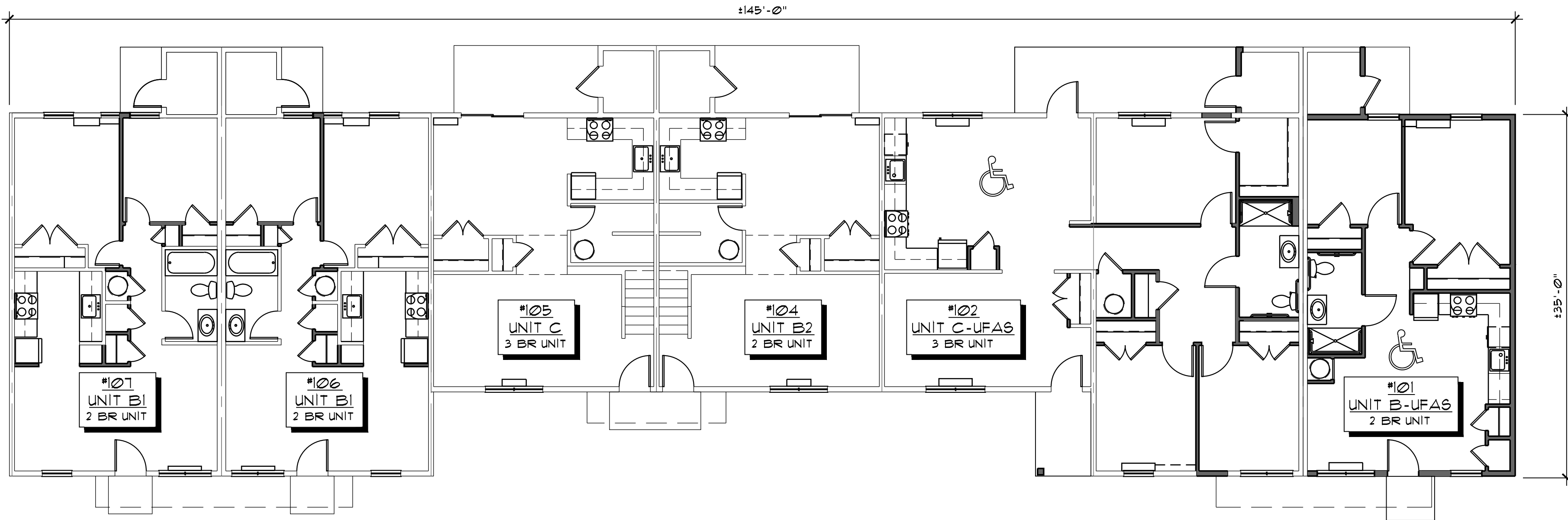
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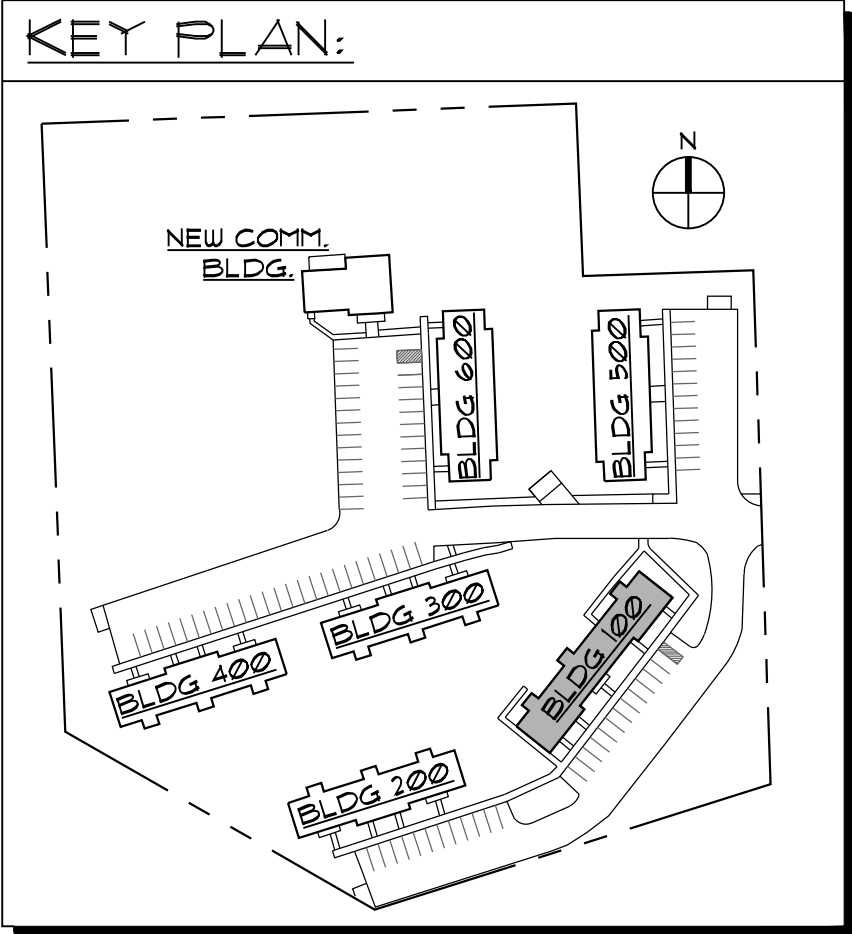
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SECOND FLOOR BUILDING PLAN
BUILDING 100

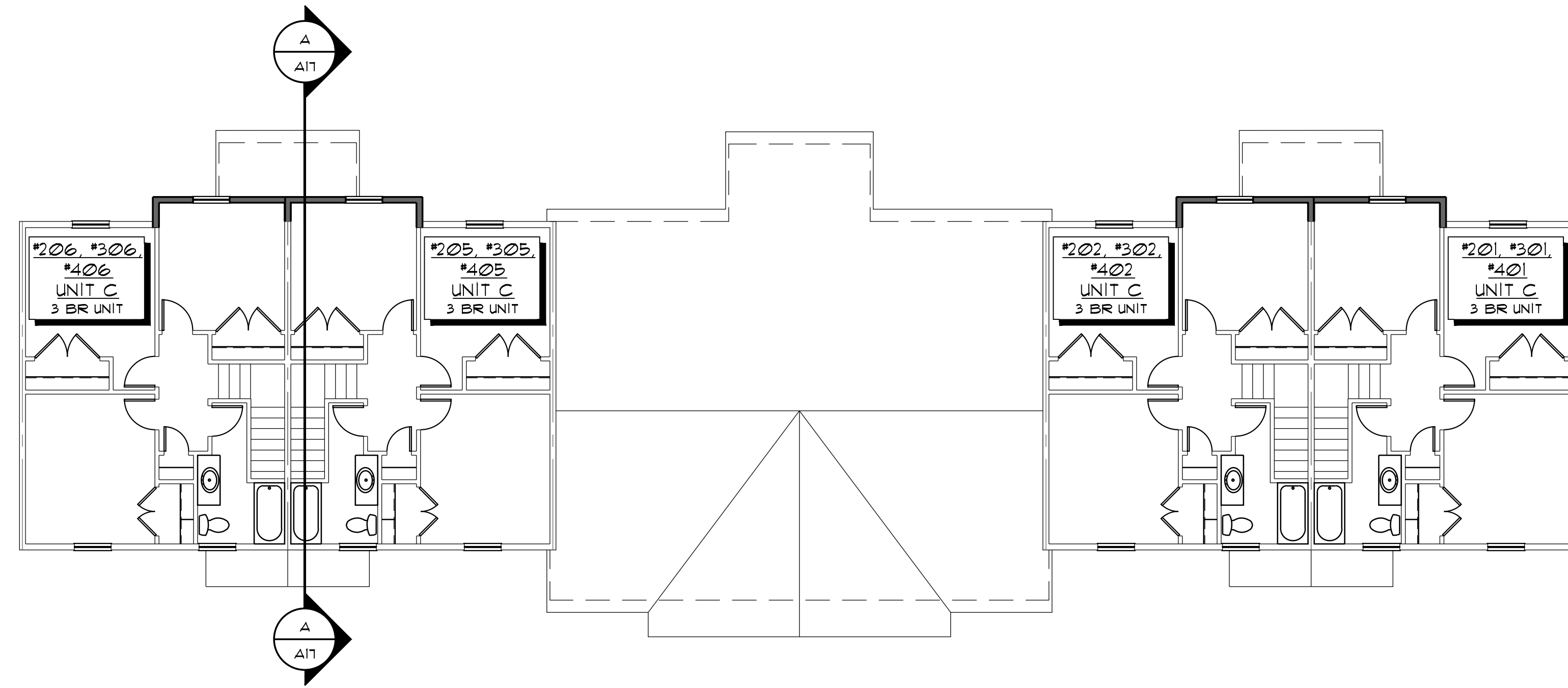


FIRST FLOOR BUILDING PLAN
BUILDING 100

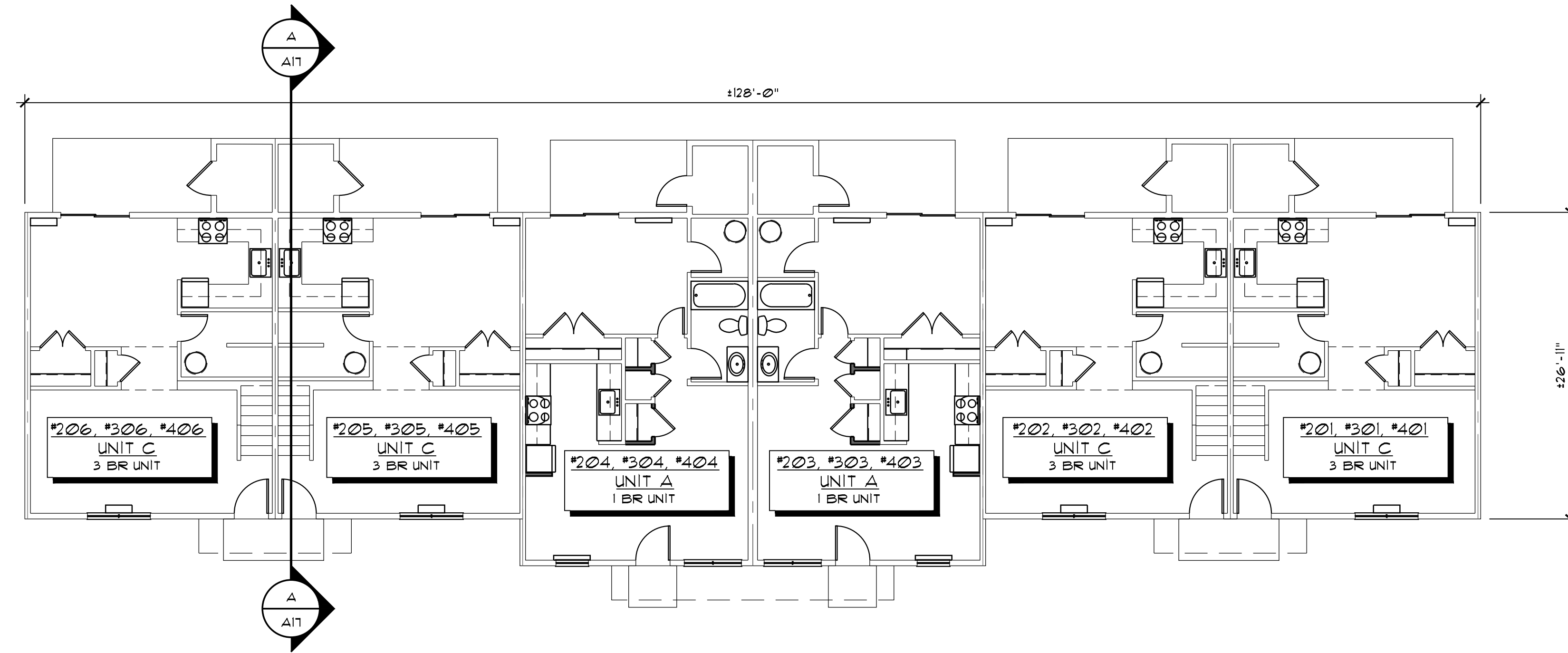


BUILDING PLAN NOTES:
1. REFER TO 1/4"=1'-0" UNIT PLANS FOR UNIT SPECIFICS, THRESHOLD & DEVELOPMENT QUALITY NOTES.

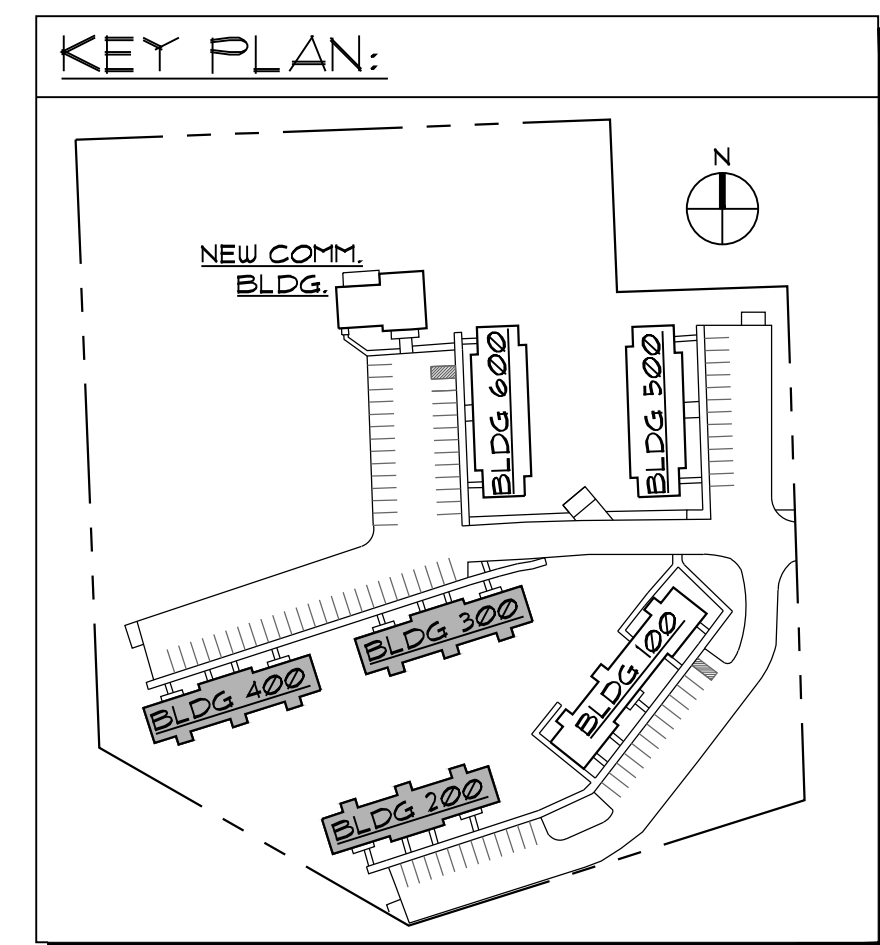
BUILDING 100



SECOND FLOOR BUILDING PLAN
BUILDING 200, 300 & 400



FIRST FLOOR BUILDING PLAN
BUILDING 200, 300, & 400



BUILDING PLAN NOTES:
1. REFER TO 1/4"=1'-0" UNIT PLANS FOR UNIT SPECIFICS, THRESHOLD & DEVELOPMENT QUALITY NOTES.

BUILDING 200-400

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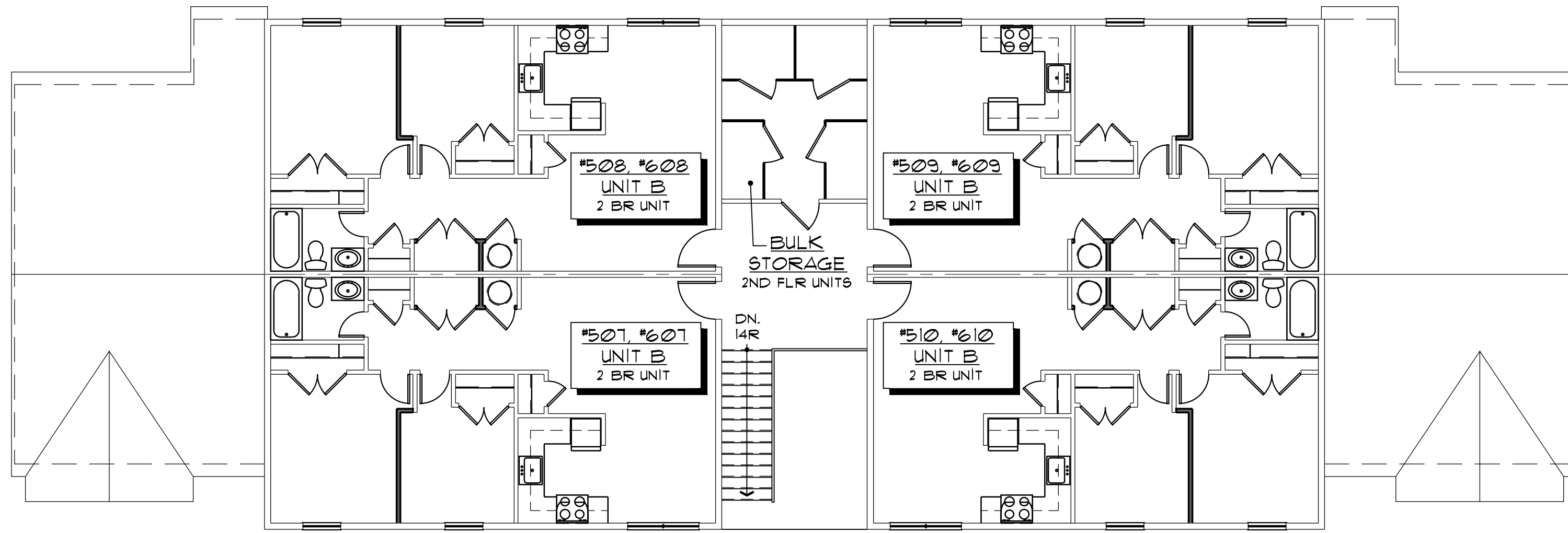
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
NEW BUILDING PLANS
SCALE: 1/8" = 1'-0"

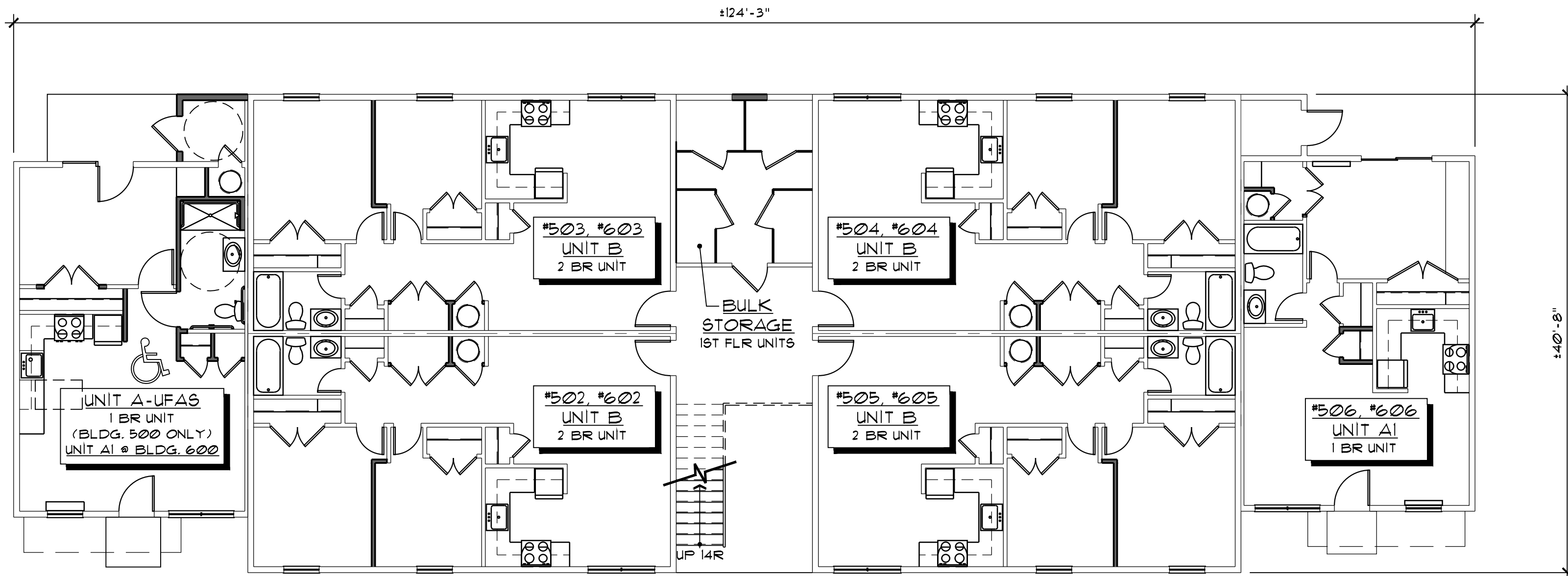
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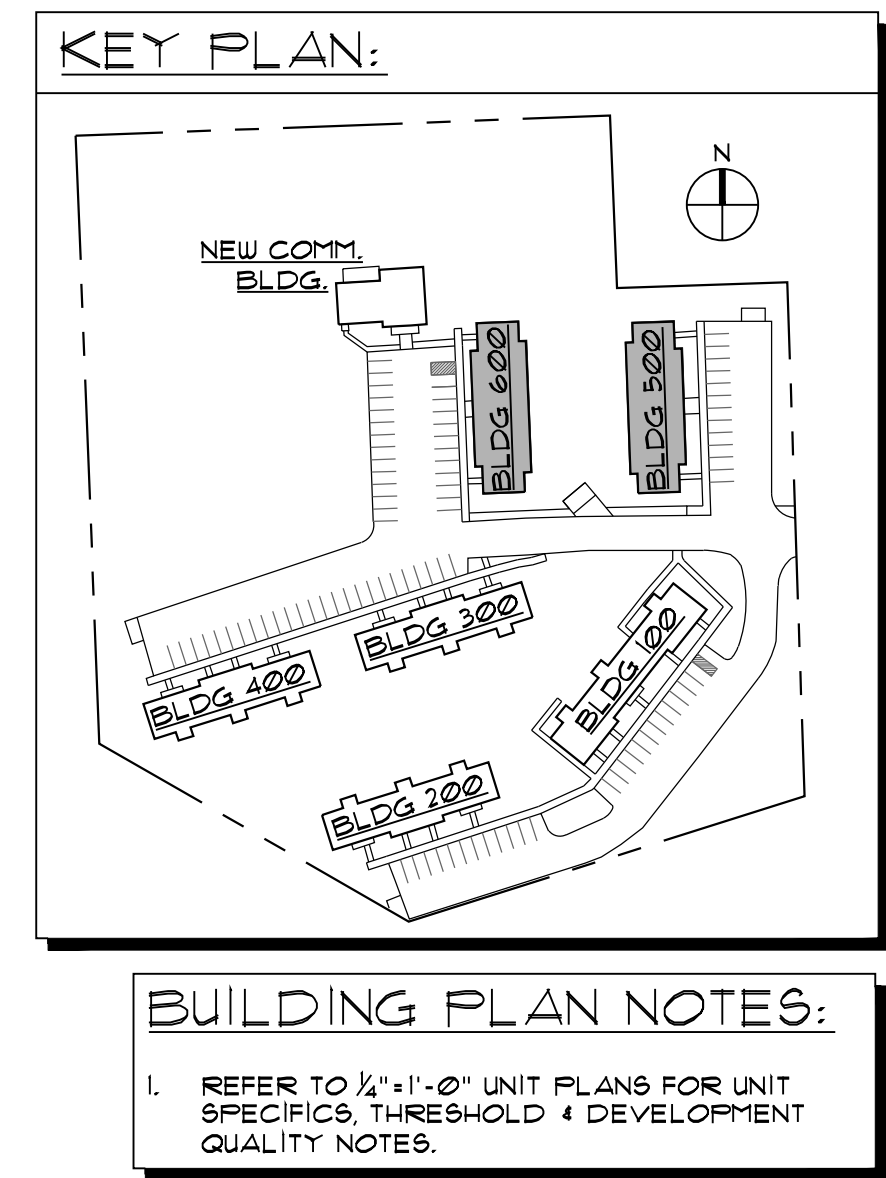
A5



SECOND FLOOR BUILDING PLAN
BUILDING 500 & 600



FIRST FLOOR BUILDING PLAN
BUILDING 600 (BLDG. 500 SIM.)



BUILDING 500 & 600

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PROJECT
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SHEET TITLE & SCALE
NEW BUILDING PLANS
SCALE: 1/8" = 1'-0"

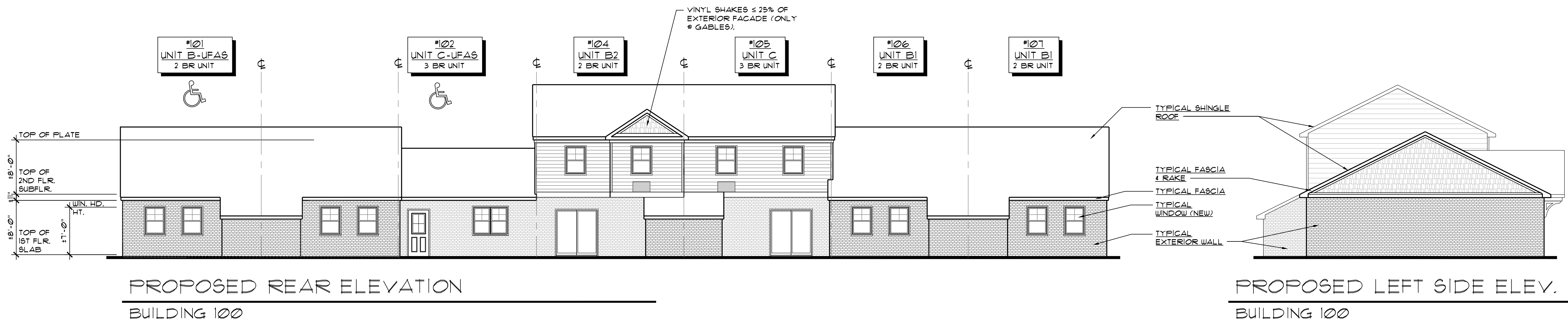
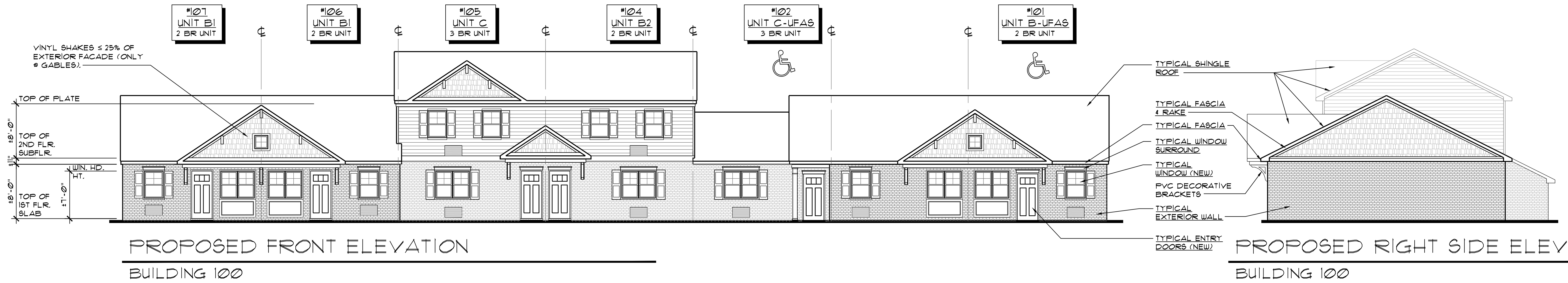
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A6

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- BUILDING ELEVATION NOTES:**
1. REFER TO 1/4"=1'-0" ELEVATIONS FOR MATERIALS, THRESHOLD & DEVELOPMENT QUALITY NOTES.
 2. PER PLAN STD. & REV. ARE NOT NOTED BUT INDICATED AS FIELD VERIFIED.
 3. ALL BUILDING ELEVATIONS ARE SIMILAR.
 4. DOWNSPOUTS NOT SHOWN FOR CLARITY OF DOCUMENT.

BUILDING 100

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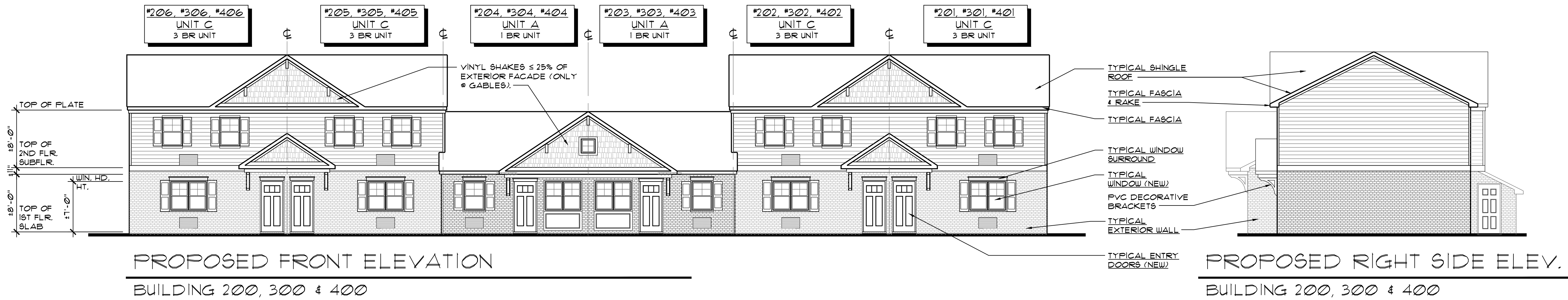
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

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A7



PROPOSED FRONT ELEVATION

BUILDING 200, 300 & 400

PROPOSED RIGHT SIDE ELEV.

BUILDING 200, 300 & 400



EXISTING FRONT ELEVATION

BUILDING 200, 300 & 400

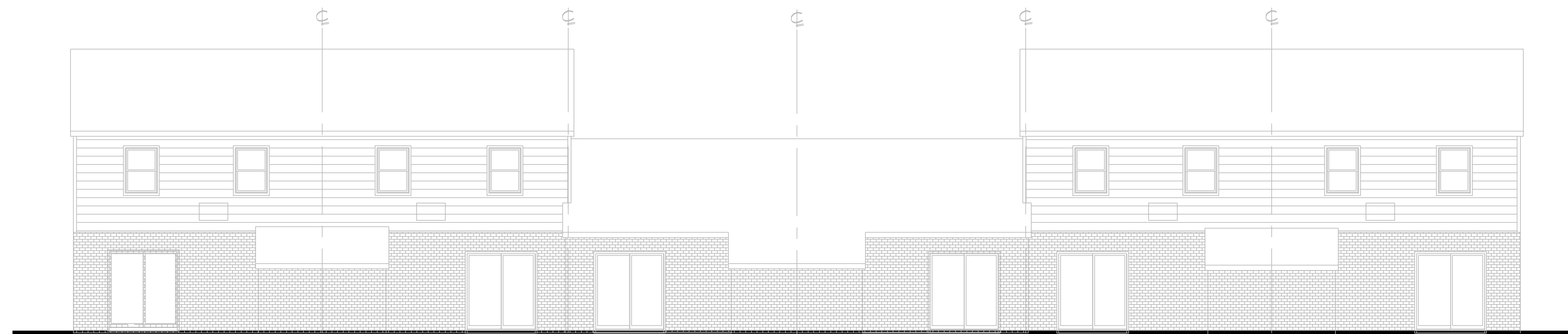


PROPOSED REAR ELEVATION

BUILDING 200, 300 & 400

PROPOSED LEFT SIDE ELEV.

BUILDING 200, 300 & 400



EXISTING REAR ELEVATION

BUILDING 200, 300 & 400

BUILDING ELEVATION NOTES:

1. REFER TO 1/4"=1'-0" ELEVATIONS FOR MATERIALS, THRESHOLD & DEVELOPMENT QUALITY NOTES.
2. PER PLAN STD. & REV. ARE NOT NOTED BUT INDICATED AS FIELD VERIFIED.
3. ALL BUILDING ELEVATIONS ARE SIMILAR.
4. DOWNSPOUTS NOT SHOWN FOR CLARITY OF DOCUMENT.

BUILDING 200-400

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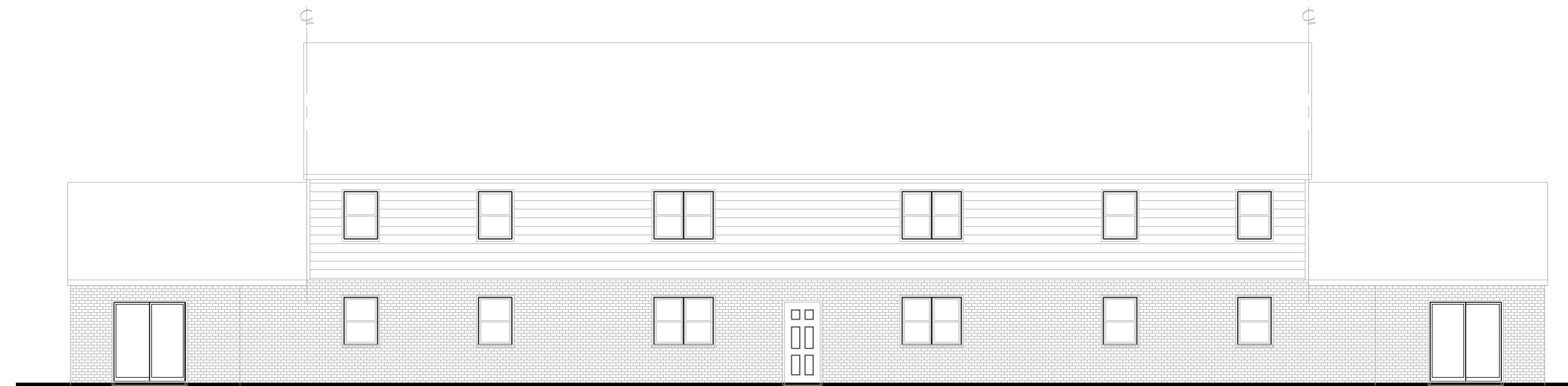
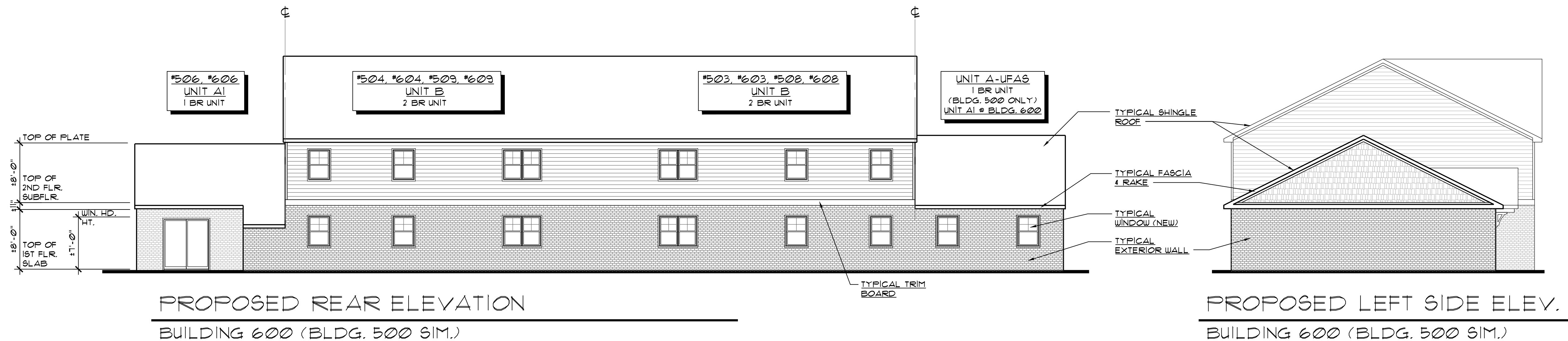
SHEET TITLE & SCALE
BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

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A8



BUILDING ELEVATION NOTES:

1. REFER TO 1/4"=1'-0" ELEVATIONS FOR MATERIALS, THRESHOLD & DEVELOPMENT QUALITY NOTES.
2. PER PLAN STD. & REV. ARE NOT NOTED BUT INDICATED AS FIELD VERIFIED.
3. ALL BUILDING ELEVATIONS ARE SIMILAR.
4. DOWNSPOUTS NOT SHOWN FOR CLARITY OF DOCUMENT.

BUILDING 500 & 600

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PROJECT
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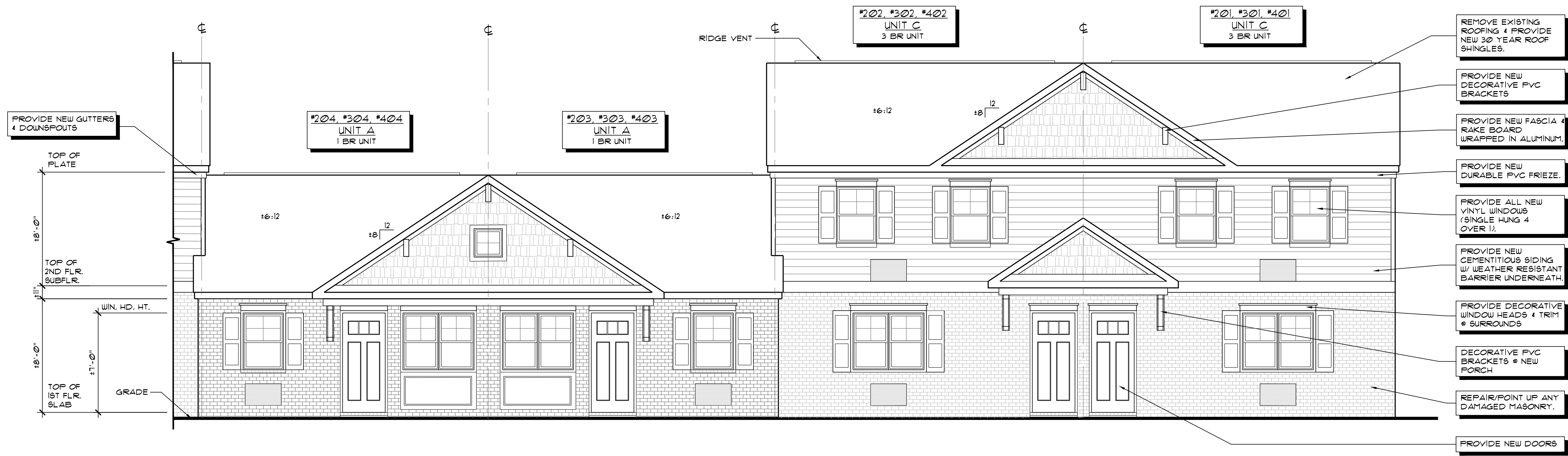
SHEET TITLE & SCALE
BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

ISSUED FOR:
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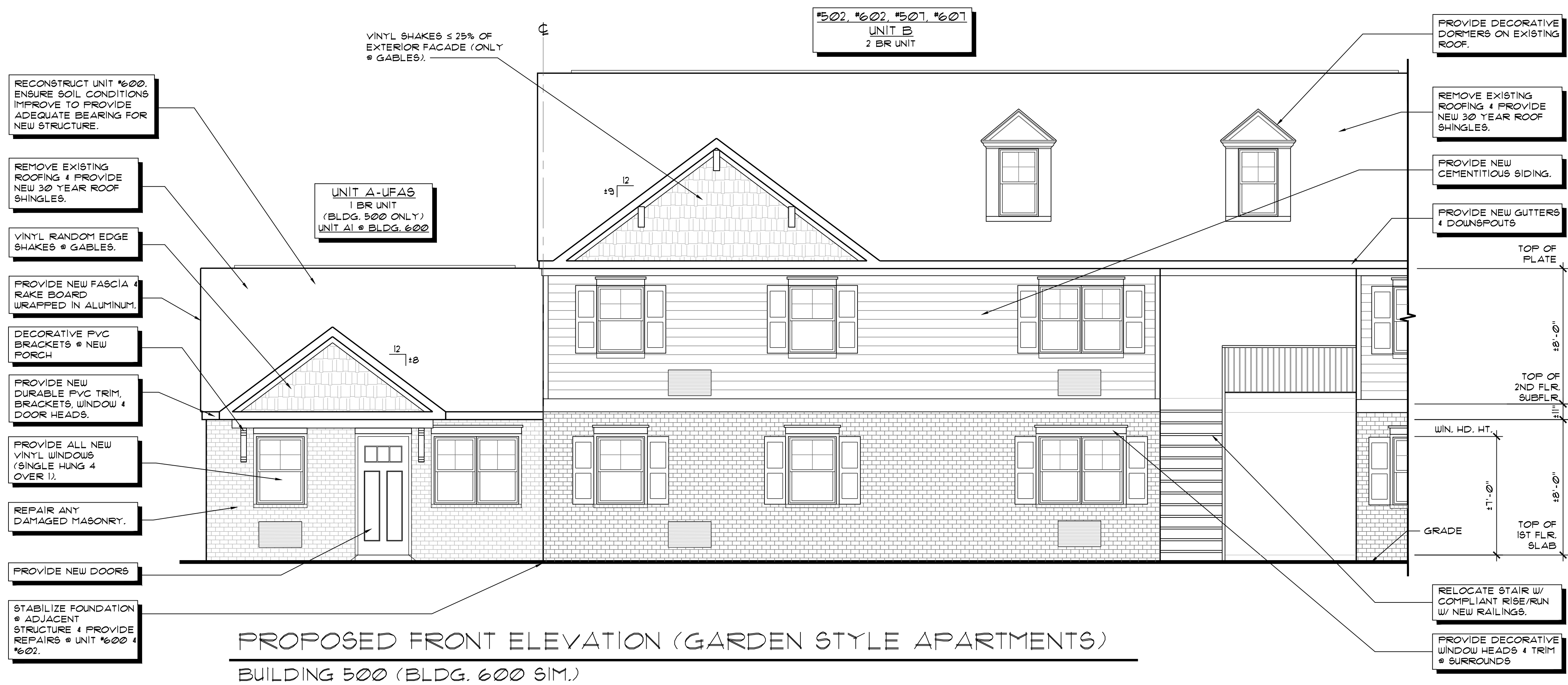
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A9

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PROPOSED FRONT ELEVATION (TOWNHOUSE STYLE)
BUILDING 200, 300 & 400



PROPOSED FRONT ELEVATION (GARDEN STYLE APARTMENTS)
BUILDING 500 (BLDG. 600 SIM.)

TYPICAL DEVELOPMENT
QUALITY ELEVATION NOTES:

1. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS (ON COMMUNITY BUILDING).
2. BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION. & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
3. THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD. & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
4. CORNER EAVES, ENHANCED PANELS AND TRIM AROUND ENERGY STAR WINDOWS ARE MADE OF COMPOSITE/DURABLE MATERIALS AND ADD INTEREST/UNIQUENESS TO THE BUILDING FACADES.
5. 75% MIN. HIGHLY DURABLE MATERIAL UTILIZED ON BUILDING FACADES.

TYPICAL ELEVATION NOTES-
THRESHOLD:

1. ROOFING - HIGH PERFORMANCE & DURABLE SHINGLED ROOFING WITH 30+ YEAR WARRANTY.
2. DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
3. WINDOWS - WINDOWS ARE ENERGY STAR RATED.
4. AGING FINISHES, FIXTURES, EQUIPMENT/SYSTEMS, & SITE CONDITIONS ARE BEING REPLACED OR UPGRADED.

UNIT ELEVATION NOTES:

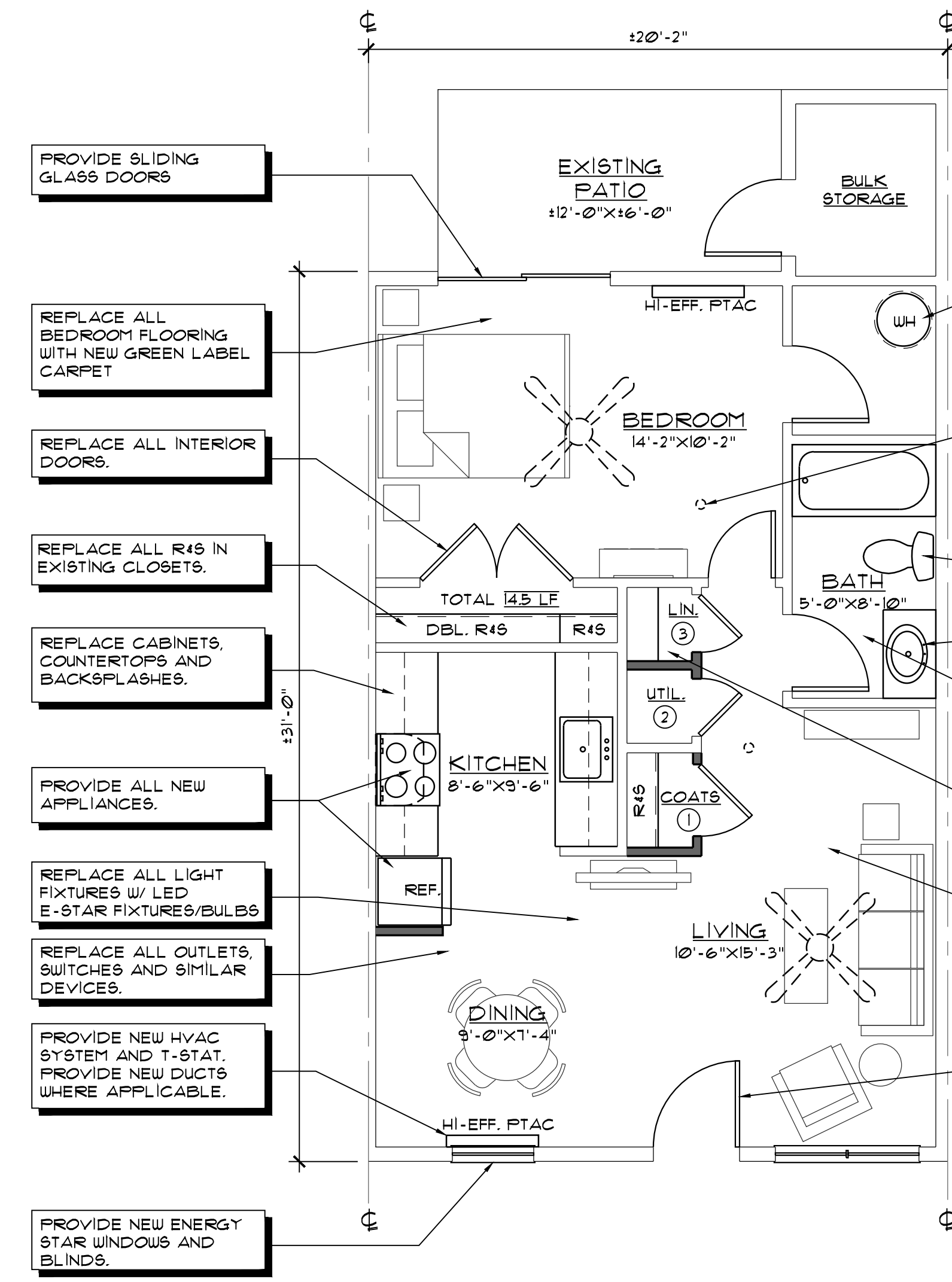
1. UPGRADE EXTERIOR BUILDING LIGHT FIXTURES TO ENERGY STAR QUALIFIED LED TYPE.
2. PROVIDE FACADE UPGRADES AS INDICATED IN PLANS
3. SEE TYPICAL CONSTRUCTION NOTES ON SHEET A13 FOR MORE INFORMATION.
4. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING ELEVATIONS.

THRESHOLD
1.
2.

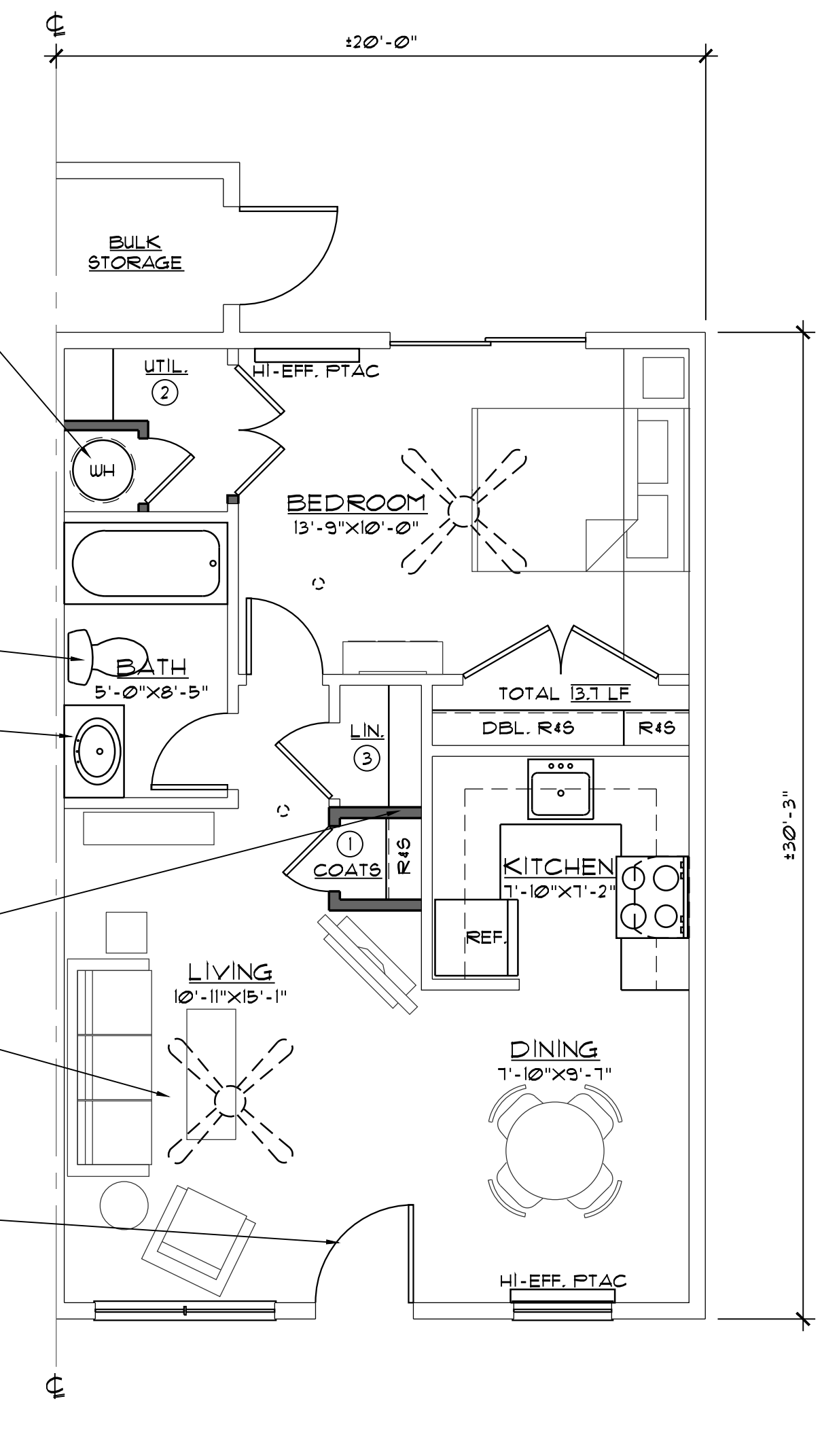
DEV. QUALITY
1.
2.

THE ITEMS NOTED IN CHARTED NOTES ARE TYPICAL THROUGHOUT THE SHEET.

- TYPICAL DEVELOPMENT QUALITY PLAN NOTES:**
- PROJECT WILL COMPLETE AND RECEIVE CERTIFICATION USING GREEN CRITERIA FROM ONE ACCEPTED ORGANIZATION (NGBS OR SIM.)
 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECMs IN THE ENERGY AUDIT HAVING AN SIR GREATER THAN 1.0.
 - PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
 - BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 - THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
 - UNIT LAYOUT IS EFFICIENT WITH PRACTICAL TRAFFIC FLOW, & PROVIDES ADEQUATE SPACE FOR FURNITURE PLACEMENT.
 - SPACIOUS PRIMARY BEDROOM 10'X11' MIN.
 - SPACIOUS ADDITIONAL BEDROOMS ARE 90 SF MIN. 9'-0" MIN. IN ONE DIRECTION.
 - 4 L.F. OF CLOSET ROD/SHELVES PER OCCUPANT IN EACH BEDROOM.
 - AT LEAST ONE OF EACH OF THE FOLLOWING IS PROVIDED: ENTRY COAT CLOSET, LINEN CLOSET, UTILITY CLOSET.
 - SECURE, INDIVIDUAL BULK STORAGE IS PROVIDED FOR EACH UNIT.
 - THE INTERIOR DOORS ARE PANELED & HARDWARE IS OF GRADE 2 OR BETTER QUALITY WITH LEVER HANDLES.
 - CEILING FANS ARE IN ALL BEDROOMS AND AT LEAST ONE LIVING AREA.
 - HARD FINISH FLOOR COVERING MATERIALS ARE QUALITY WITH 10+ YEAR WARRANTY.
 - UTILIZES SHEET VINYL FLOORING WITH 10+ YEAR WARRANTY.
 - CERAMIC TILE TUB/SHOWER SURROUNDS WITH CEMENTITIOUS BACKER BOARD.
 - TUB/SHOWER SURROUNDS WITH BETTER THAN BUILDER GRADE FIBERGLASS.
- A. LOVABLE SPACES - COMMUNITY SPACES**
- PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.
- PROVIDES THE FOLLOWING:
- FITNESS CENTER WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
 - OUTDOOR SOCIAL AREA (I.E. ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
 - DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.



UNIT A FLOOR PLAN
TOTAL - 661 GSF



UNIT A1 FLOOR PLAN
TOTAL - 631 GSF

SYMBOLS:

INDICATES NEW WALL.

INDICATES EXISTING WALL.

TYPICAL PLAN NOTES:

- SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING PLANS.
- PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILING AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.

GENERAL UNIT NOTES:

- ASSUMPTIONS WERE BASED ON FIELD MEASUREMENTS TAKEN IN MAY 2016. ACTUAL CONDITIONS MAY VARY. VERIFICATION BY CONTRACTOR IS REQUIRED PRIOR TO COMMENCING WORK. ALL EXISTING CONDITION INCLUDING BEARING WALLS & STRUCTURAL COMPONENTS MUST BE VERIFIED PRIOR TO DEMOLITION.
- ITEMS DENOTED IN BOXES ARE TYPICAL FOR ALL UNITS AND INDICATE SCOPE FOR THE RENOVATION. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
- THIS IS A MODERATE REHAB.
- PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILING AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
- SEE TYPICAL CONSTRUCTION NOTES ON SHEET A15 FOR MORE INFORMATION.

TYPICAL PLAN NOTES- THRESHOLD:

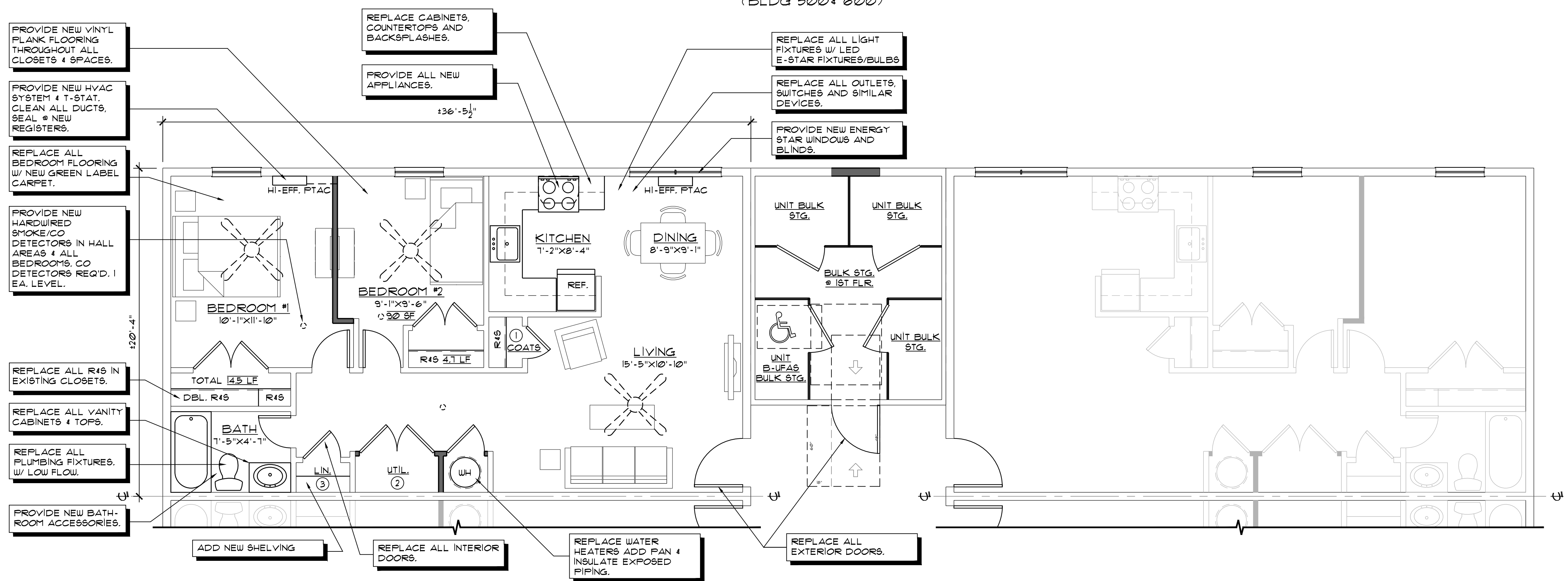
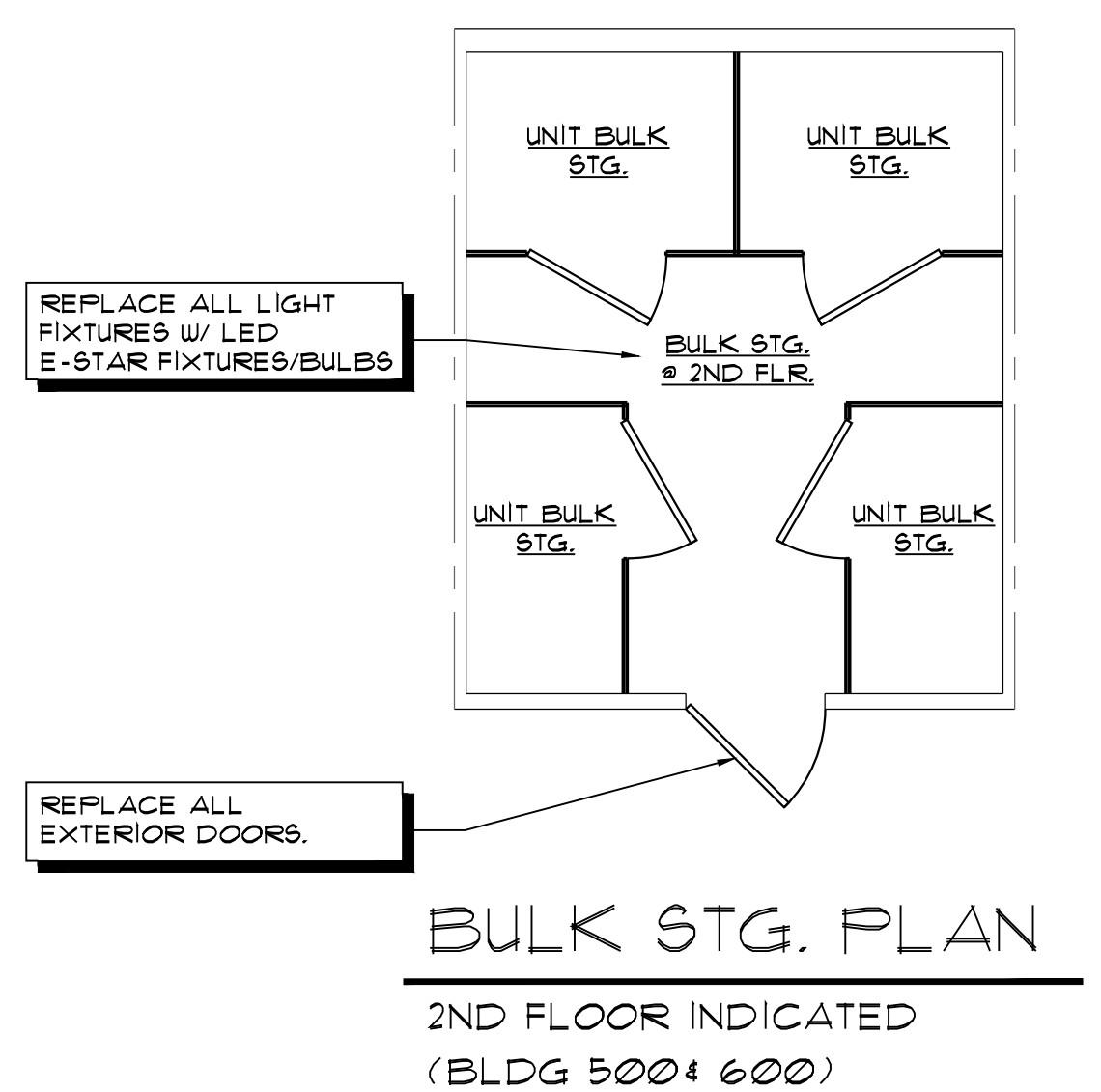
- CODES - PROJECT COMPLIES WITH ALL APPLICABLE STATE & LOCAL BUILDING, ENERGY & ACCESSIBILITY CODES.
- ACCESSIBILITY - PROJECT COMPLIES WITH UFAS AND THE OTHER APPLICABLE ACCESSIBILITY LAWS OR REQUIREMENTS.
- ENERGY CONSULTANT - A CERTIFIED RESNET/BPI RATER WILL ASSURE QUALITY & PERFORM TESTING.
- PEST MANAGEMENT - PROJECT WILL HAVE INTEGRATED PEST MANAGEMENT PROGRAM.
- DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
- LAUNDRY - LAUNDRY FACILITIES ARE LOCATED FOR SAFE, CONVENIENT ACCESS & ARE ADEQUATE FOR THE PROJECT. LAUNDRY ROOM INCLUDES (1) WASHER/DRYER PER 14 FAMILY UNITS, MIN.
- INTERNET - FULL-TIME ACCESS TO HIGH-SPEED

INTERNET SERVICE IS PROVIDED.

- INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DEMOLITION PLAN - PROJECT INCLUDES SOUND PRACTICES FOR MANAGING WASTE & HAZARDOUS MATERIALS.
- AIR QUALITY - ALL PAINTS, SEALERS, ADHESIVES, ETC. ARE LOW OR NO VOC.
- CARPETS - ALL CARPET FLOORING MATERIALS ARE GREEN LABEL PLUS CERTIFIED.
- CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
- MOLD - ALL OBSERVED AREAS OF MOLD, MILDEW, & MOISTURE INFILTRATION WITHIN THE BUILDING WILL BE CORRECTED.
- RECYCLING - CONTAINERS & SPACE FOR RECYCLING IS PROVIDED.
- WATER CONSERVATION - ALL PLUMBING FIXTURES ARE WATER-CONSERVING.
- HVAC - HVAC SYSTEM IS ENERGY STAR RATED OR EXCEEDS ENERGY STAR REQUIREMENTS. ALL

- APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
- LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
- WINDOWS - WINDOWS ARE ENERGY STAR RATED.
- CABINETRY - CABINETS WILL BE PLYWOOD BOX CONSTRUCTION WITH DOORS THAT ARE SOLID WOOD. UTILIZE HARDWARE/FINISHES THAT ARE DURABLE, AND INCLUDE DOOR/DRAWER PULLS.
- PROJECT INCLUDES EXTERIOR RENEWAL WITH NEEDED REPAIRS & CLEANING OF FINISHES.
- AGING FINISHES, FIXTURES, EQUIPMENT/SYSTEMS, & SITE CONDITIONS ARE BEING REPLACED OR UPGRADED.
- NEW MECHANICAL VENTILATION TERMINATES AT THE EXTERIOR OF THE BUILDING.
- PER THE ENERGY AUDIT, THE PROJECT ACHIEVES MIN. 15% IMPROVED ENERGY SAVINGS.
- NEW PROGRAMMABLE THERMOSTATS ARE PROVIDED.

- TYPICAL DEVELOPMENT QUALITY PLAN NOTES:**
- PROJECT WILL COMPLETE AND RECEIVE CERTIFICATION USING GREEN CRITERIA FROM ONE ACCEPTED ORGANIZATION (NGBS OR SIM.)
 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECMS IN THE ENERGY AUDIT HAVING AN SIR GREATER THAN 10.
 - PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
 - BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 - THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
 - UNIT LAYOUT IS EFFICIENT WITH PRACTICAL TRAFFIC FLOW, & PROVIDES ADEQUATE SPACE FOR FURNITURE PLACEMENT.
 - SPACIOUS PRIMARY BEDROOM 10'X11' MIN.
 - SPACIOUS ADDITIONAL BEDROOMS ARE 9'0" MIN. 9'-0" MIN. IN ONE DIRECTION.
 - 4 LF. OF CLOSET ROD/SHELVES PER OCCUPANT IN EACH BEDROOM.
 - AT LEAST ONE OF EACH OF THE FOLLOWING IS PROVIDED: ENTRY COAT CLOSET, LINEN CLOSET, UTILITY CLOSET.
 - SECURE, INDIVIDUAL BULK STORAGE IS PROVIDED FOR EACH UNIT.
 - THE INTERIOR DOORS ARE paneled & HARDWARE IS OF GRADE 2 OR BETTER QUALITY WITH LEVER HANDLES.
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 - HARD FINISH FLOOR COVERING MATERIALS ARE QUALITY WITH 10+ YEAR WARRANTY.
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 - TUB/SHOWER SURROUNDS WITH BETTER THAN BUILDER GRADE FIBERGLASS.
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- PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.
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- FITNESS CENTER, WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
 - OUTDOOR SOCIAL AREA (IE, ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
 - DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.



UNIT B FLOOR PLAN
TOTAL - 741 GSF

COMMON
AREA STG.
1ST FLOOR INDICATED
(BLDG 500 & 600)

UNIT B FLOOR PLAN (REV)
TOTAL - 741 GSF

SYMBOLS:

INDICATES NEW WALL.

INDICATES EXISTING WALL.

TYPICAL PLAN NOTES:

- SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING PLANS.
- PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.

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 - ENERGY CONSULTANT - A CERTIFIED RESNET/BPI RATER WILL ASSURE QUALITY & PERFORM TESTING.
 - PEST MANAGEMENT - PROJECT WILL HAVE INTEGRATED PEST MANAGEMENT PROGRAM.
 - DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
 - LAUNDRY - LAUNDRY FACILITIES ARE LOCATED FOR SAFE, CONVENIENT ACCESS & ARE ADEQUATE FOR THE PROJECT. LAUNDRY ROOM INCLUDES (1) WASHER/DRYER PER 14 FAMILY UNITS, MIN.
 - INTERNET - FULL-TIME ACCESS TO HIGH-SPEED INTERNET SERVICE IS PROVIDED.
 - INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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 - CARPETS - ALL CARPET FLOORING MATERIALS ARE GREEN LABEL PLUS CERTIFIED.
 - CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
 - MOLD - ALL OBSERVED AREAS OF MOLD, MILDEW, & MOISTURE INFILTRATION WITHIN THE BUILDING WILL BE CORRECTED.
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 - APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
 - LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
 - WINDOWS - WINDOWS ARE ENERGY STAR RATED.
 - CABINETRY - CABINETS WILL BE PLYWOOD BOX CONSTRUCTION WITH DOORS OF SOLID WOOD. UTILIZE HARDWARE/FINISHES THAT ARE DURABLE, AND INCLUDE DOOR/DRAWER PULLS.
 - PROJECT INCLUDES EXTERIOR RENEWAL WITH NEEDED REPAIRS & CLEANING OF FINISHES.
 - AGING FINISHES, FIXTURES, EQUIPMENT/SYSTEMS, & SITE CONDITIONS ARE BEING REPLACED OR UPGRADED.
 - NEW MECHANICAL VENTILATION TERMINATES AT THE EXTERIOR OF THE BUILDING.
 - PER THE ENERGY AUDIT, THE PROJECT ACHIEVES MIN. 15% IMPROVED ENERGY SAVINGS.
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GENERAL UNIT NOTES:

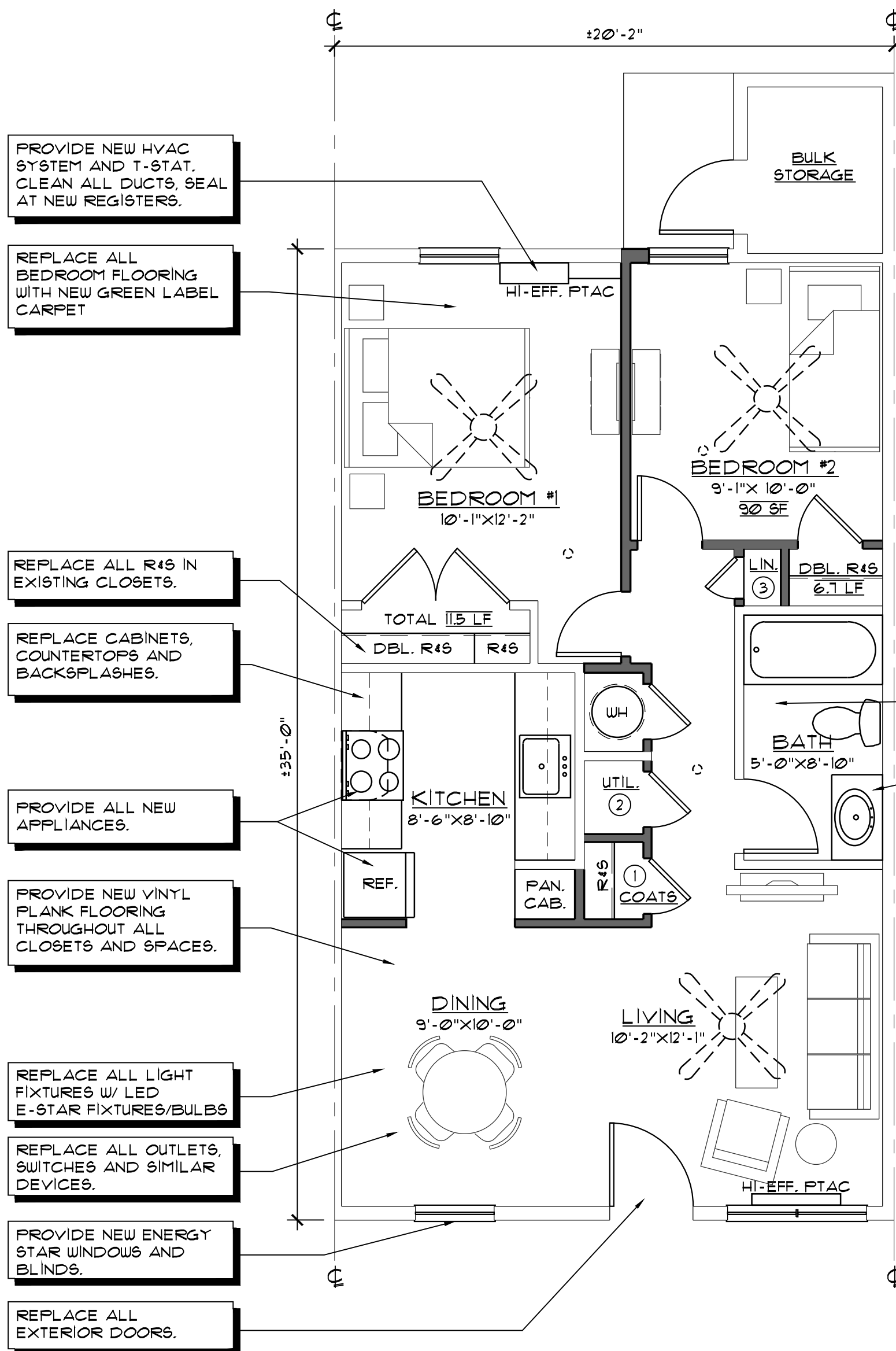
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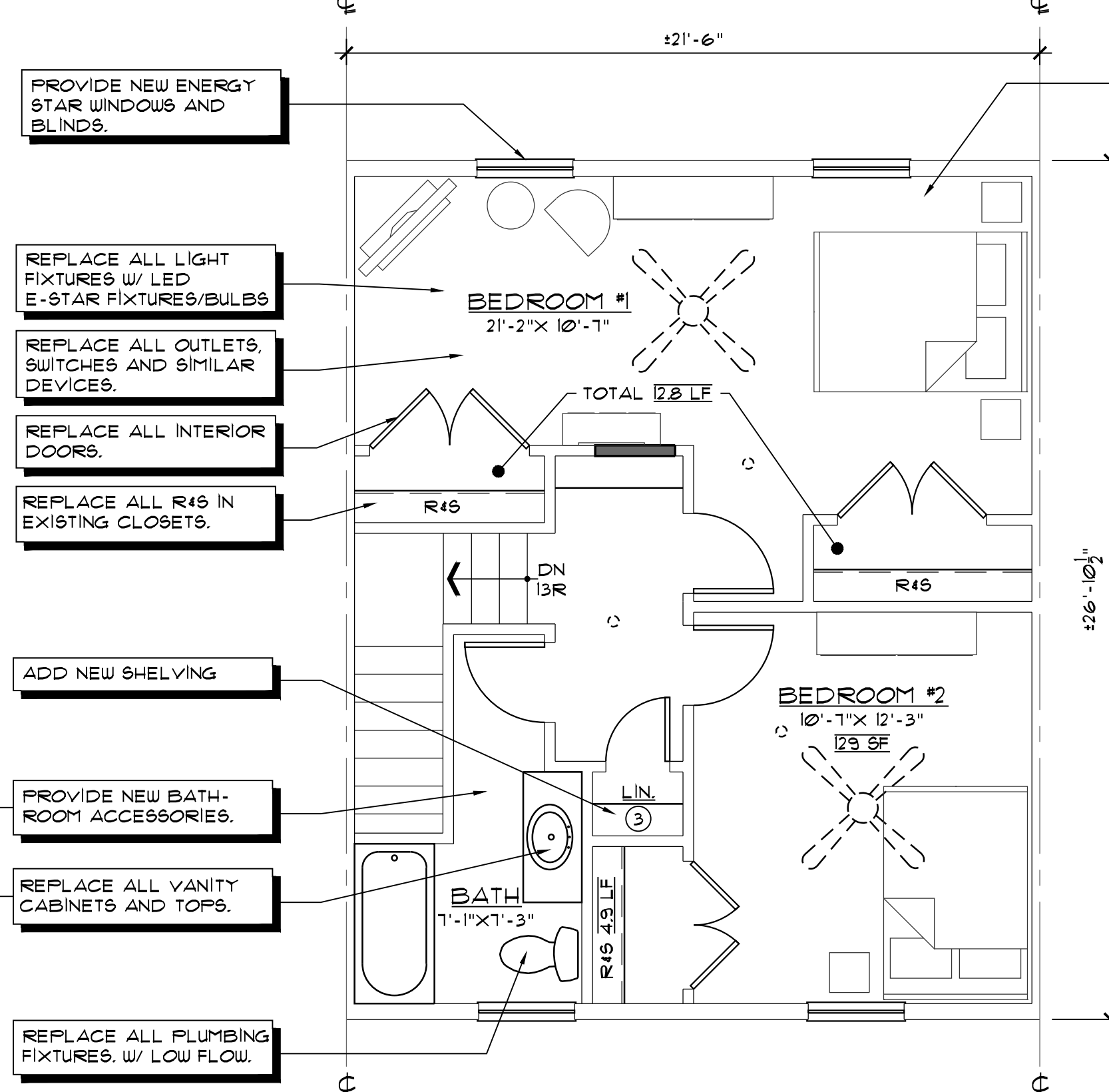
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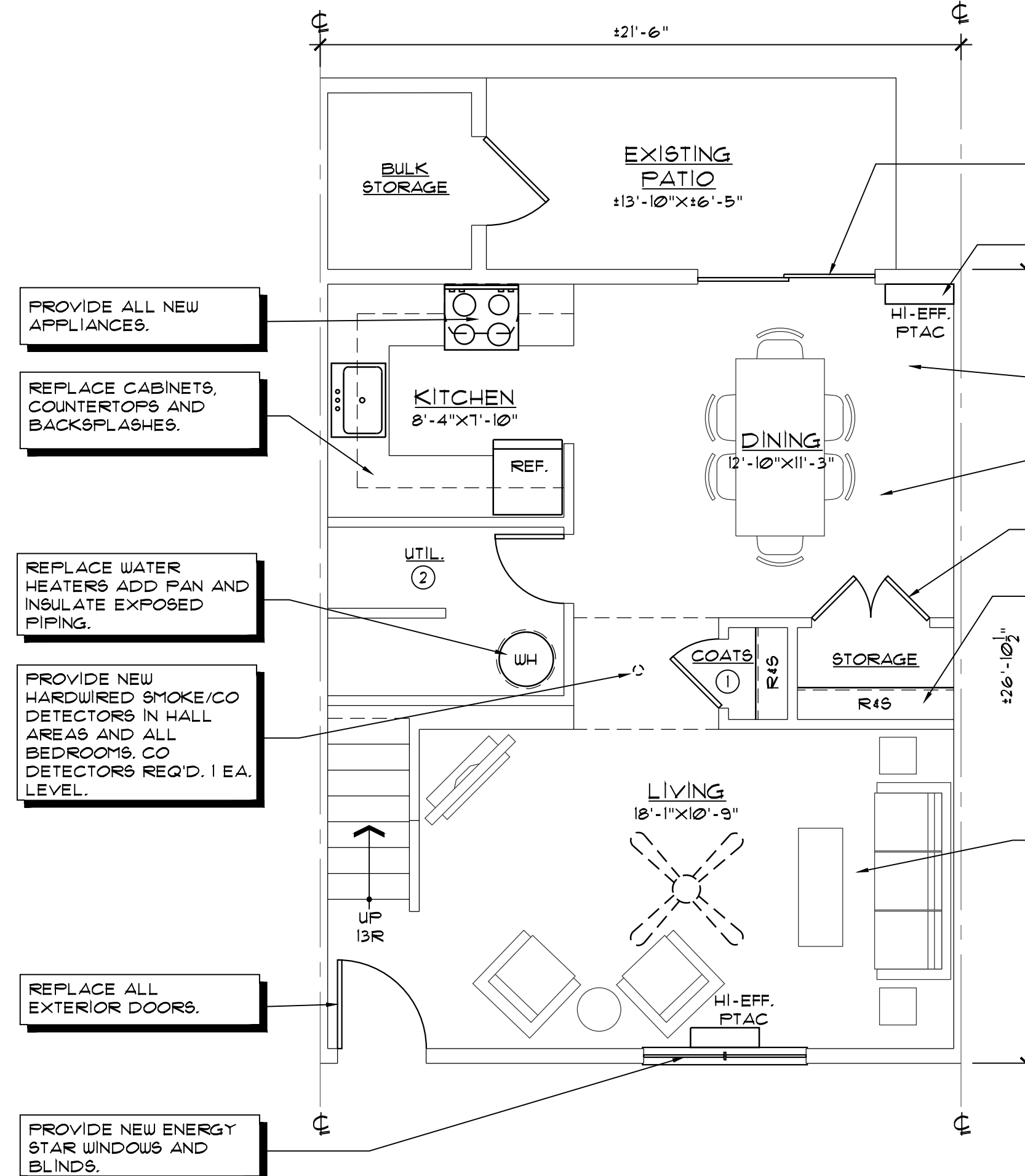
UNIT B1 FLOOR PLAN

TOTAL - 742 GSF
UNIT 106 & 107



UNIT B2 2ND FLR. PLAN

TOTAL - 583 GSF



UNIT B2 1ST FLR. PLAN

TOTAL - 619 GSF

TYPICAL DEVELOPMENT
QUALITY PLAN NOTES:

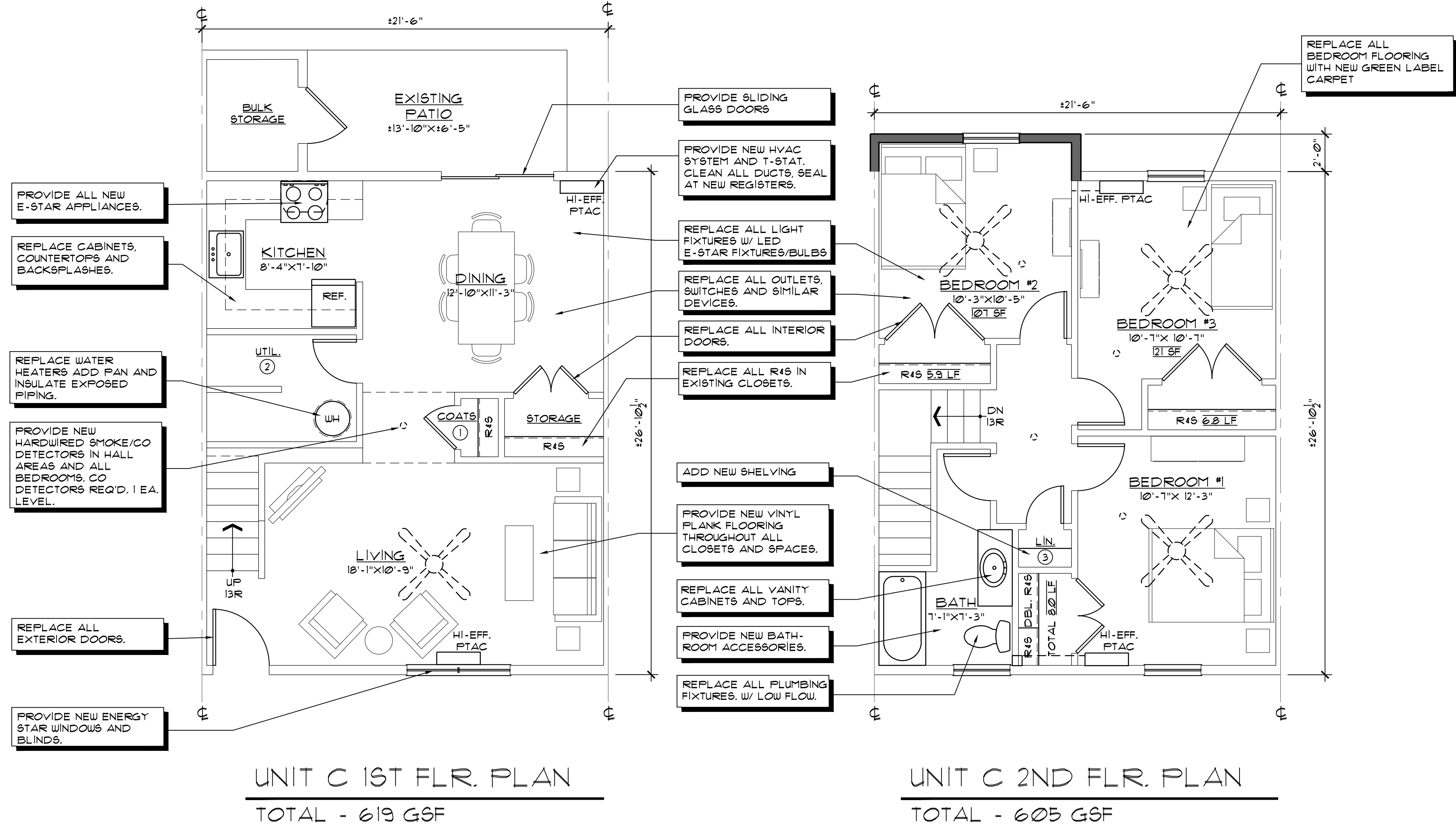
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2. PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
3. PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECMs IN THE ENERGY AUDIT HAVING AN SIR GREATER THAN 10.
4. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
5. BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
6. THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY. & UNITY WITH NEARBY ARCHITECTURAL STYLES.
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- a. FITNESS CENTER, WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
- b. OUTDOOR SOCIAL AREA (I.E. ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
- c. DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.



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TH UNITS

A14

Architecture by Design

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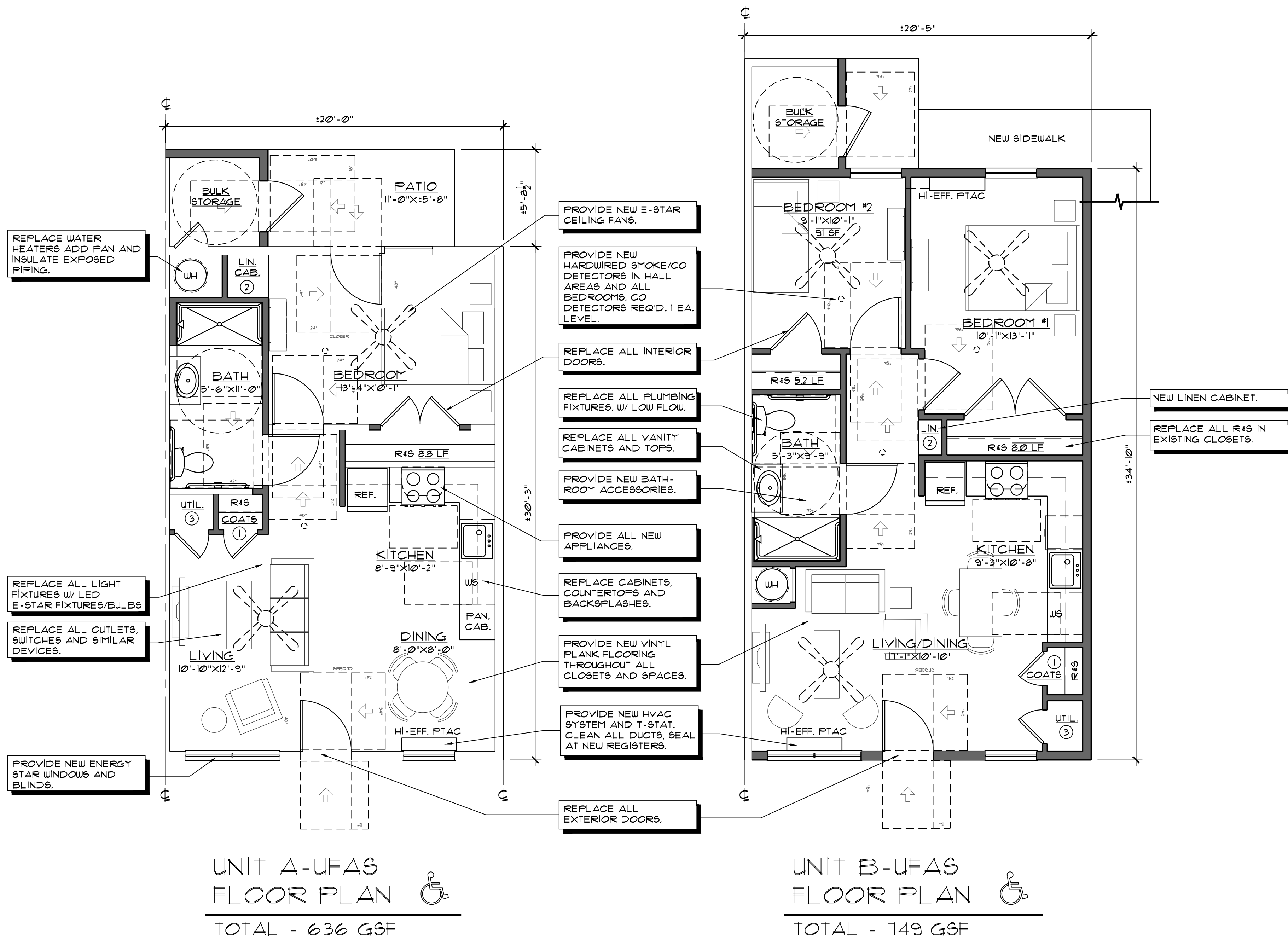
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
C TYPE UNIT PLANS
SCALE: 1/4" = 1'-0"

ISSUED FOR:
APP SUBMISSION 7/15/2026

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These drawings are schematic design documents only. They are intended to convey design intent and further development is necessary for construction documents. These documents should not be used for permitting purposes.



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19. WINDOWS - WINDOWS ARE ENERGY STAR RATED.

20. CABINETRY - CABINETS WILL BE PLYWOOD BOX CONSTRUCTION. ALL DOORS & DRAWERS WILL BE DURABLE, AND INCLUDE DOOR/DRAWER PULLS.

21. PROJECT INCLUDES EXTERIOR RENEWAL WITH NEEDED REPAIRS & CLEANING OF FINISHES.

22. AGING FINISHES, FIXTURES, EQUIPMENT/SYSTEMS, & SITE CONDITIONS ARE BEING REPLACED OR UPGRADED.

23. NEW MECHANICAL VENTILATION TERMINATES AT THE EXTERIOR OF THE BUILDING.

24. PER THE ENERGY AUDIT, THE PROJECT ACHIEVES MIN. 15% IMPROVED ENERGY SAVINGS.

25. NEW PROGRAMMABLE THERMOSTATS ARE PROVIDED.

TYPICAL DEVELOPMENT QUALITY PLAN NOTES:

- PROJECT WILL COMPLETE AND RECEIVE CERTIFICATION USING GREEN CRITERIA FROM ONE ACCEPTED ORGANIZATION (NGBS OR SIM.)
- PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
- PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECMB IN THE ENERGY AUDIT HAVING AN S/R GREATER THAN 10.
- PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
- BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
- THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
- UNIT LAYOUT IS EFFICIENT WITH PRACTICAL TRAFFIC FLOW, & PROVIDES ADEQUATE SPACE FOR FURNITURE PLACEMENT.
- SPACIOUS PRIMARY BEDROOM 10'X11' MIN.
- SPACIOUS ADDITIONAL BEDROOMS ARE 90 SF MIN. 9'-0" MIN. IN ONE DIRECTION.
- 4 L.F. OF CLOSET ROD/SHELVES PER OCCUPANT IN EACH BEDROOM.
- AT LEAST ONE OF EACH OF THE FOLLOWING IS PROVIDED: ENTRY COAT CLOSET, LINEN CLOSET, UTILITY CLOSET.
- SECURE, INDIVIDUAL BULK STORAGE IS PROVIDED FOR EACH UNIT.
- THE INTERIOR DOORS ARE PANELED & HARDWARE IS OF GRADE 2 OR BETTER QUALITY WITH LEVER HANDLES.
- CEILING FANS ARE IN ALL BEDROOMS AND AT LEAST ONE LIVING AREA.
- HARD FINISH FLOOR COVERING MATERIALS ARE QUALITY WITH 10+ YEAR WARRANTY.
- UTILIZES SHEET VINYL FLOORING WITH 10+ YEAR WARRANTY.
- CERAMIC TILE TUB/SHOWER SURROUNDS WITH CEMENTITIOUS BACKER BOARD.
- TUB/SHOWER SURROUNDS WITH BETTER THAN BUILDER GRADE FIBERGLASS.
- LOVABLE SPACES - COMMUNITY SPACES**
PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.

PROVIDES THE FOLLOWING:

a. FITNESS CENTER, WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.

b. OUTDOOR SOCIAL AREA (I.E. ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.

c. DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.

UFAS UNITS A15

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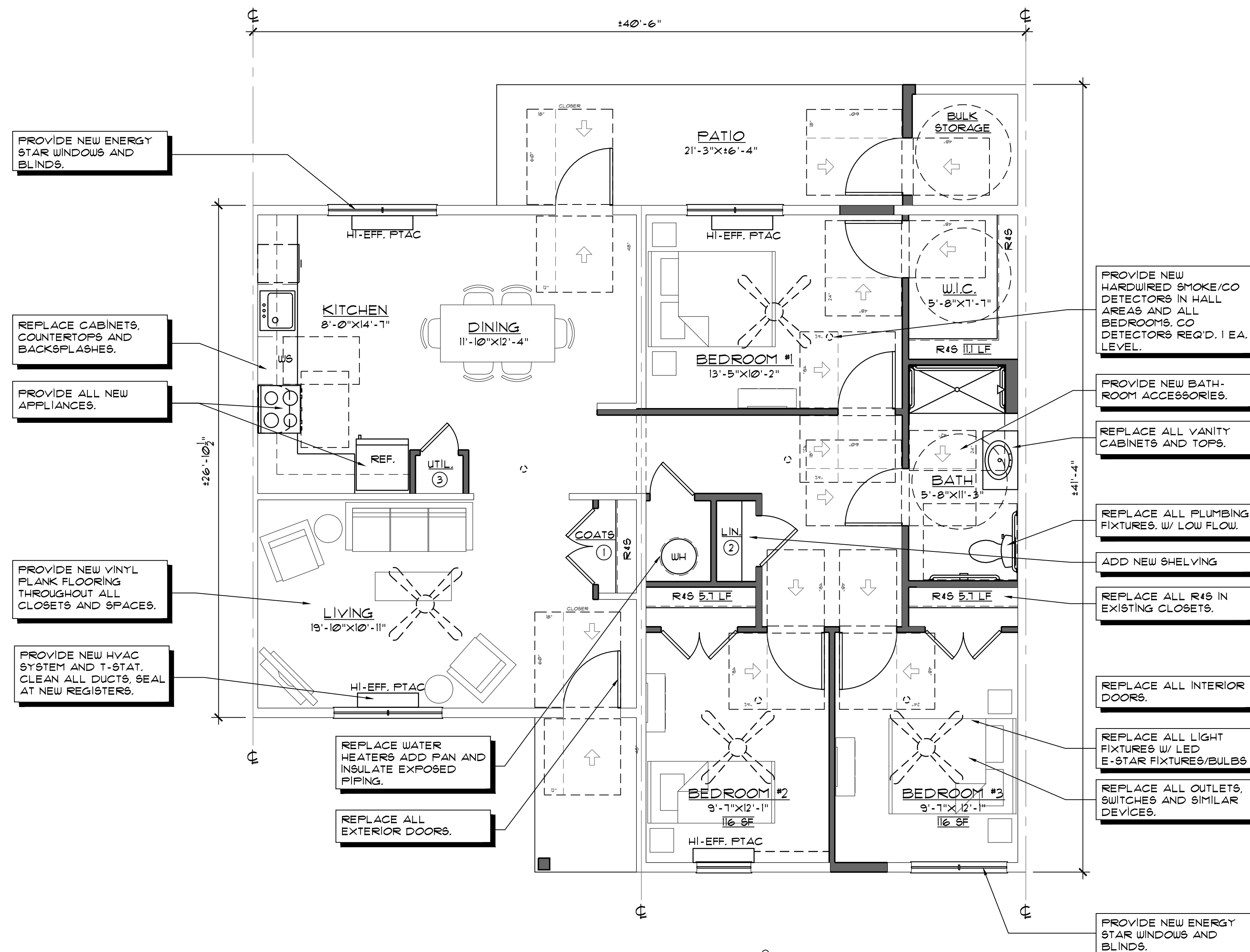
PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
A & B TYPE UFAS UNIT PLANS
SCALE: 1/4" = 1'-0"

ISSUED FOR:
APP SUBMISSION 7/15/2026

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UNIT C-UFAS FLOOR PLAN
TOTAL - 1296 GSF

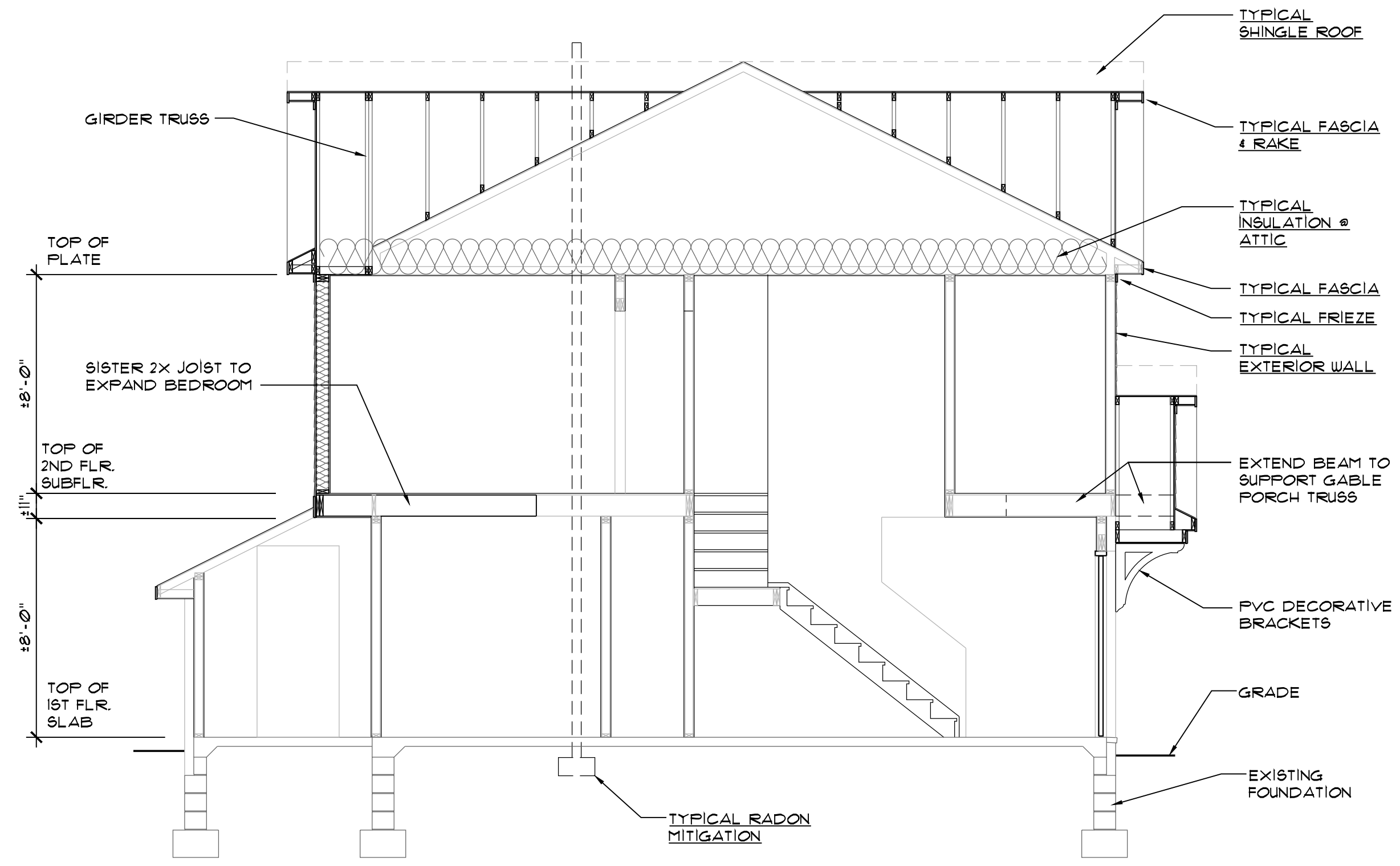
- SYMBOLS:**
- INDICATES NEW WALL.
 - INDICATES EXISTING WALL.
- TYPICAL PLAN NOTES:**
- SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL BUILDING PLANS.
 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.

- GENERAL UNIT NOTES:**
- ASSUMPTIONS WERE BASED ON FIELD MEASUREMENTS TAKEN IN MAY 2026. ACTUAL CONDITIONS MAY VARY. VERIFICATION BY CONTRACTOR IS REQUIRED PRIOR TO COMMENCING WORK. ALL EXISTING CONDITION INCLUDING BEARING WALLS & STRUCTURAL COMPONENTS MUST BE VERIFIED PRIOR TO DEMOLITION.
 - ITEMS DENOTED IN BOXES ARE TYPICAL FOR ALL UNITS AND INDICATE SCOPE FOR THE RENOVATION. SCOPE ITEMS SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
 - THIS IS A MODERATE REHAB.
 - PROVIDE AIR SEALING AND WEATHERIZATION AT ALL EXTERIOR WALLS, CEILINGS AND BETWEEN UNITS WHERE VISIBLE DURING CONSTRUCTION.
 - SEE TYPICAL CONSTRUCTION NOTES ON SHEET A15 FOR MORE INFORMATION.

- TYPICAL PLAN NOTES-THRESHOLD:**
- CODES - PROJECT COMPLIES WITH ALL APPLICABLE STATE & LOCAL BUILDING, ENERGY & ACCESSIBILITY CODES.
 - ACCESSIBILITY - PROJECT COMPLIES WITH UFAS AND THE OTHER APPLICABLE ACCESSIBILITY LAWS OR REQUIREMENTS.
 - ENERGY CONSULTANT - A CERTIFIED RESNET/BPI RATER WILL ASSURE QUALITY & PERFORM TESTING.
 - PEST MANAGEMENT - PROJECT WILL HAVE INTEGRATED PEST MANAGEMENT PROGRAM.
 - DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
 - LAUNDRY - LAUNDRY FACILITIES ARE LOCATED FOR SAFE, CONVENIENT ACCESS & ARE ADEQUATE FOR THE PROJECT. LAUNDRY ROOM INCLUDES (1) WASHER/DRYER PER 14 FAMILY UNITS, MIN.
 - INTERNET - FULL-TIME ACCESS TO HIGH-SPEED
 - INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - DEMOLITION PLAN - PROJECT INCLUDES SOUND PRACTICES FOR MANAGING WASTE & HAZARDOUS MATERIALS.
 - AIR QUALITY - ALL PAINTS, SEALERS, ADHESIVES, ETC. ARE LOW OR NO VOC.
 - CARPETS - ALL CARPET FLOORING MATERIALS ARE GREEN LABEL PLUS CERTIFIED.
 - CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
 - MOLD - ALL OBSERVED AREAS OF MOLD, MILDEW, & MOISTURE INFILTRATION WITHIN THE BUILDING WILL BE CORRECTED.
 - RECYCLING - CONTAINERS & SPACE FOR RECYCLING IS PROVIDED.
 - WATER CONSERVATION - ALL PLUMBING FIXTURES ARE WATER-CONSERVING.
 - HVAC - HVAC SYSTEM IS ENERGY STAR RATED OR EXCEEDS ENERGY STAR REQUIREMENTS. ALL

- INTERNET SERVICE IS PROVIDED.
- ELECTRIC HVAC & WATER HEATING IS USED.
- APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
 - LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
 - WINDOWS - WINDOWS ARE ENERGY STAR RATED.
 - CABINETRY - CABINETS WILL BE PLYWOOD BOX CONSTRUCTION WITH DOOR/DRAWER HARDWARE. WOOD UTILIZE HARDWARE/FINISHES THAT ARE DURABLE, AND INCLUDE DOOR/DRAWER PULLS.
 - PROJECT INCLUDES EXTERIOR RENEWAL WITH NEEDED REPAIRS & CLEANING OF FINISHES.
 - AGING FINISHES, FIXTURES, EQUIPMENT/SYSTEMS, & SITE CONDITIONS ARE BEING REPLACED OR UPGRADED.
 - NEW MECHANICAL VENTILATION TERMINATES AT THE EXTERIOR OF THE BUILDING.
 - PER THE ENERGY AUDIT, THE PROJECT ACHIEVES MIN. 15% IMPROVED ENERGY SAVINGS.
 - NEW PROGRAMMABLE THERMOSTATS ARE PROVIDED.

- TYPICAL DEVELOPMENT QUALITY PLAN NOTES:**
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 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
 - PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECMS IN THE ENERGY AUDIT HAVING AN 51R GREATER THAN 10.
 - PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
 - BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 - THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
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 - SPACIOUS PRIMARY BEDROOM 10'X11' MIN.
 - SPACIOUS ADDITIONAL BEDROOMS ARE 90 SF MIN. 9'-0" MIN. IN ONE DIRECTION.
 - 4 LF. OF CLOSET ROD/SHELVES PER OCCUPANT IN EACH BEDROOM.
 - AT LEAST ONE OF EACH OF THE FOLLOWING IS PROVIDED: ENTRY COAT CLOSET, LINEN CLOSET, UTILITY CLOSET.
 - SECURE, INDIVIDUAL BULK STORAGE IS PROVIDED FOR EACH UNIT.
 - THE INTERIOR DOORS ARE PANELED & HARDWARE IS OF GRADE 2 OR BETTER QUALITY WITH LEVER HANDLES.
 - CEILING FANS ARE IN ALL BEDROOMS AND AT LEAST ONE LIVING AREA.
 - HARD FINISH FLOOR COVERING MATERIALS ARE QUALITY WITH 10+ YEAR WARRANTY.
 - UTILIZES SHEET VINYL FLOORING WITH 10+ YEAR WARRANTY.
 - CERAMIC TILE TUB/SHOWER SURROUNDS WITH CEMENTITIOUS BACKER BOARD.
 - TUB/SHOWER SURROUNDS WITH BETTER THAN BUILDER GRADE FIBERGLASS.
- A. LOVABLE SPACES - COMMUNITY SPACES**
- PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.
- PROVIDES THE FOLLOWING:
- FITNESS CENTER, WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
 - OUTDOOR SOCIAL AREA (IE, ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
 - DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/ DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/ DESKS, AND AT LEAST TWO PRIVATE ROOMS, INTENDED FOR MEETINGS AND CALLS.



BUILDING SECTION A

- TYPICAL DEVELOPMENT
QUALITY SECTION NOTES:**
1. PROJECT WILL BE CERTIFIED UNDER NGBS.
 2. PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN AN OVERALL ENERGY SAVINGS OF 30% MIN.
 3. PROJECT USES ENERGY CONSERVATION MEASURES RESULTING IN ALL ECHS IN THE ENERGY AUDIT HAVING AN SIR GREATER THAN 10.
 4. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS. **CONFIRM

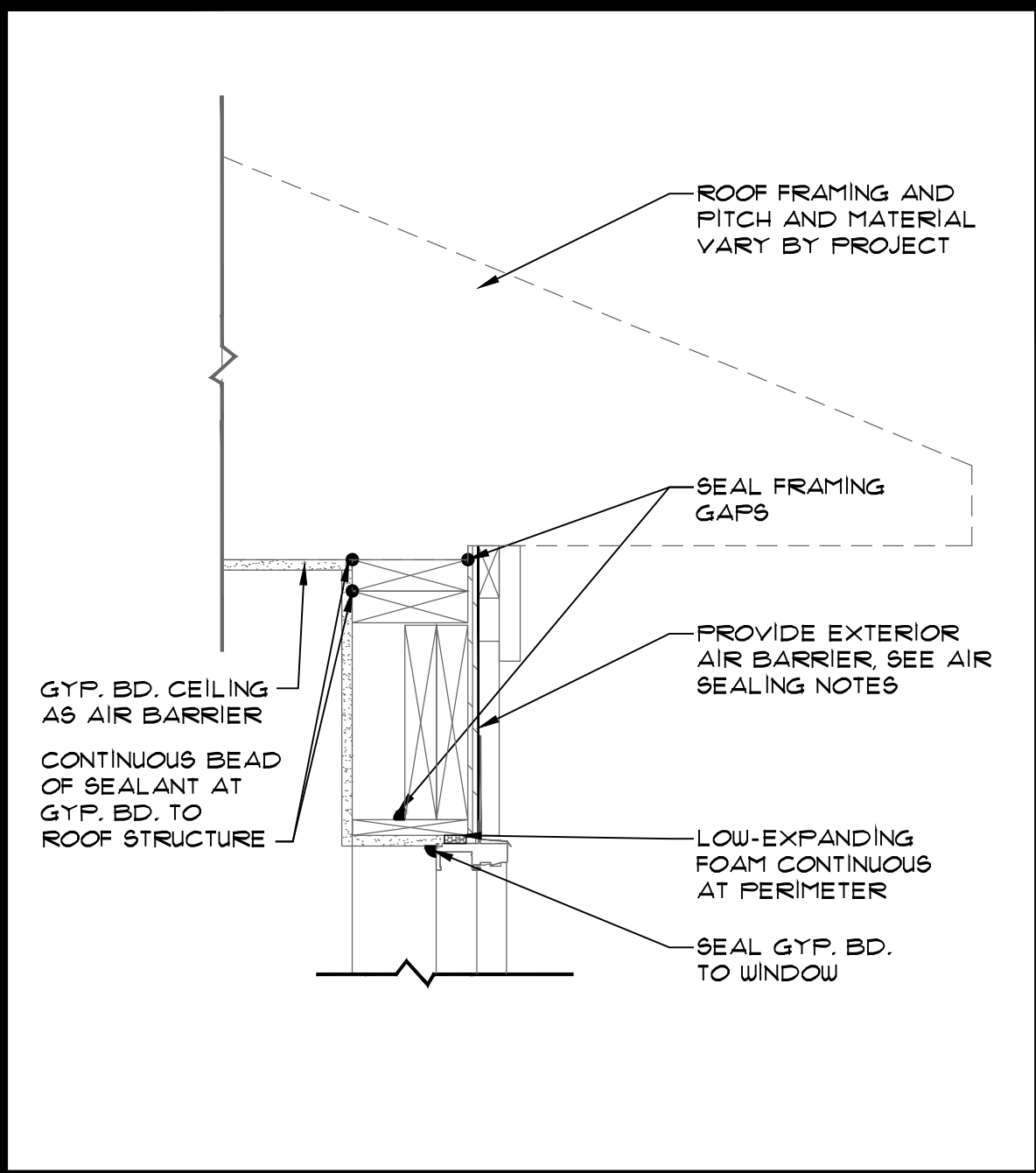
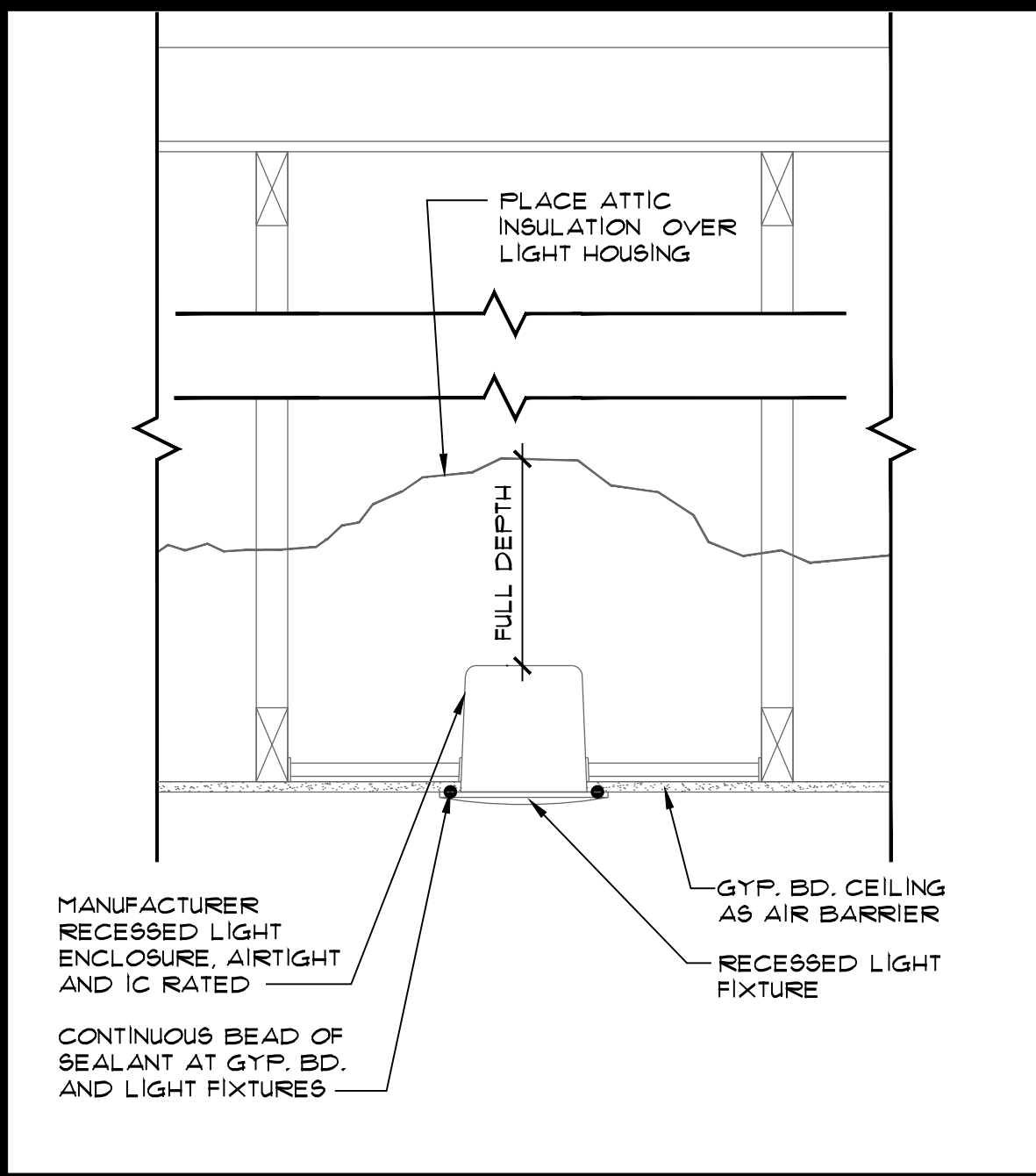
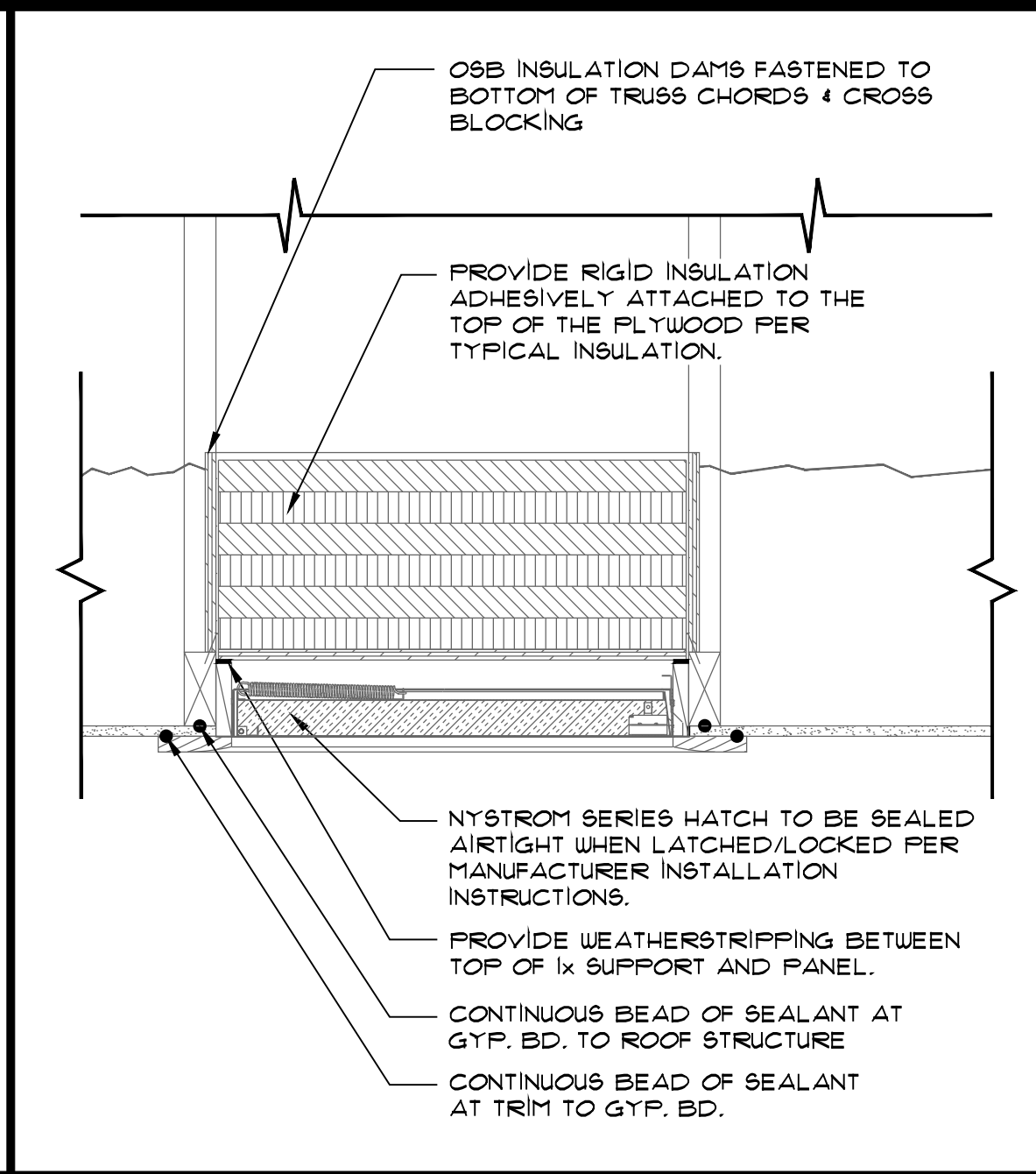
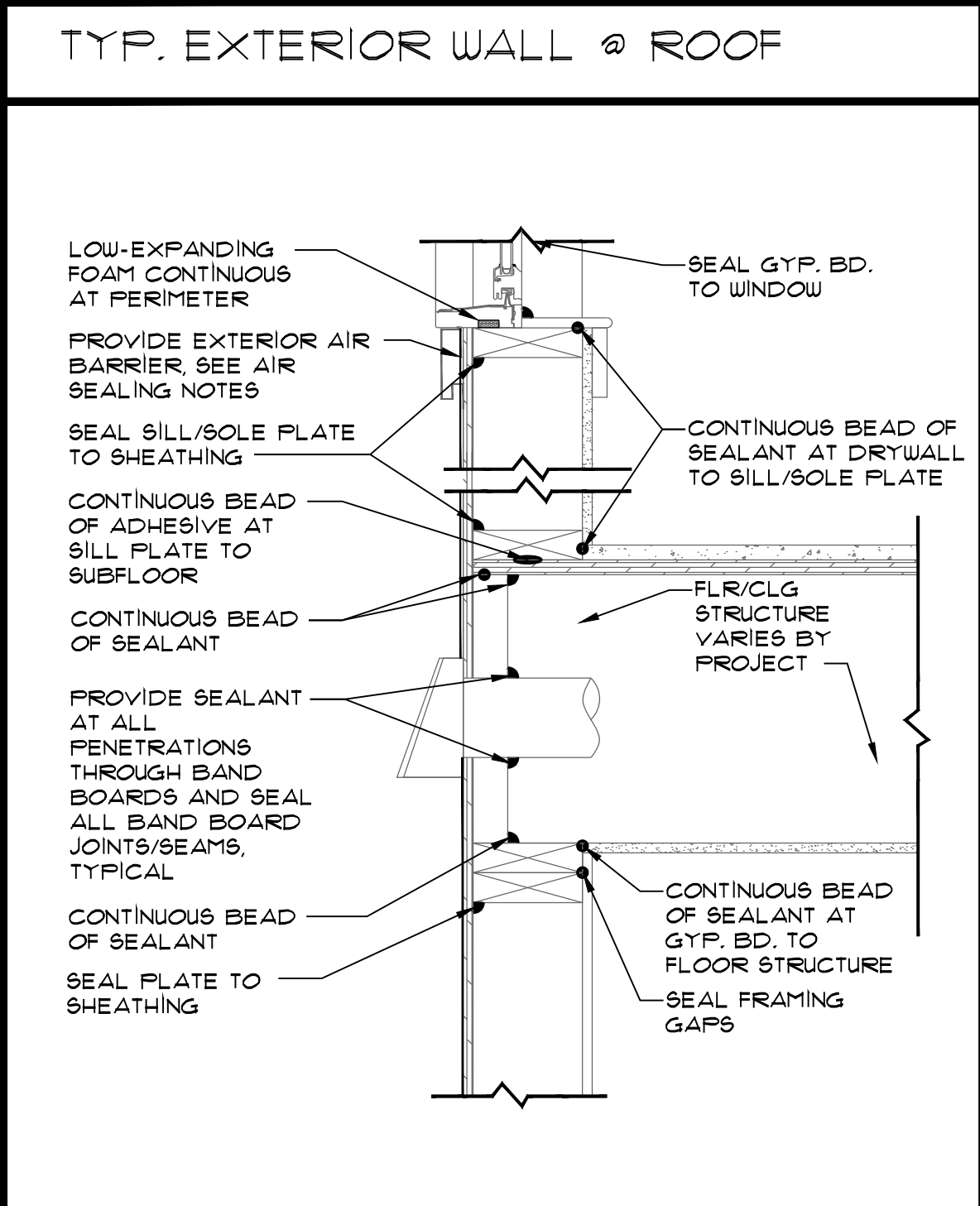
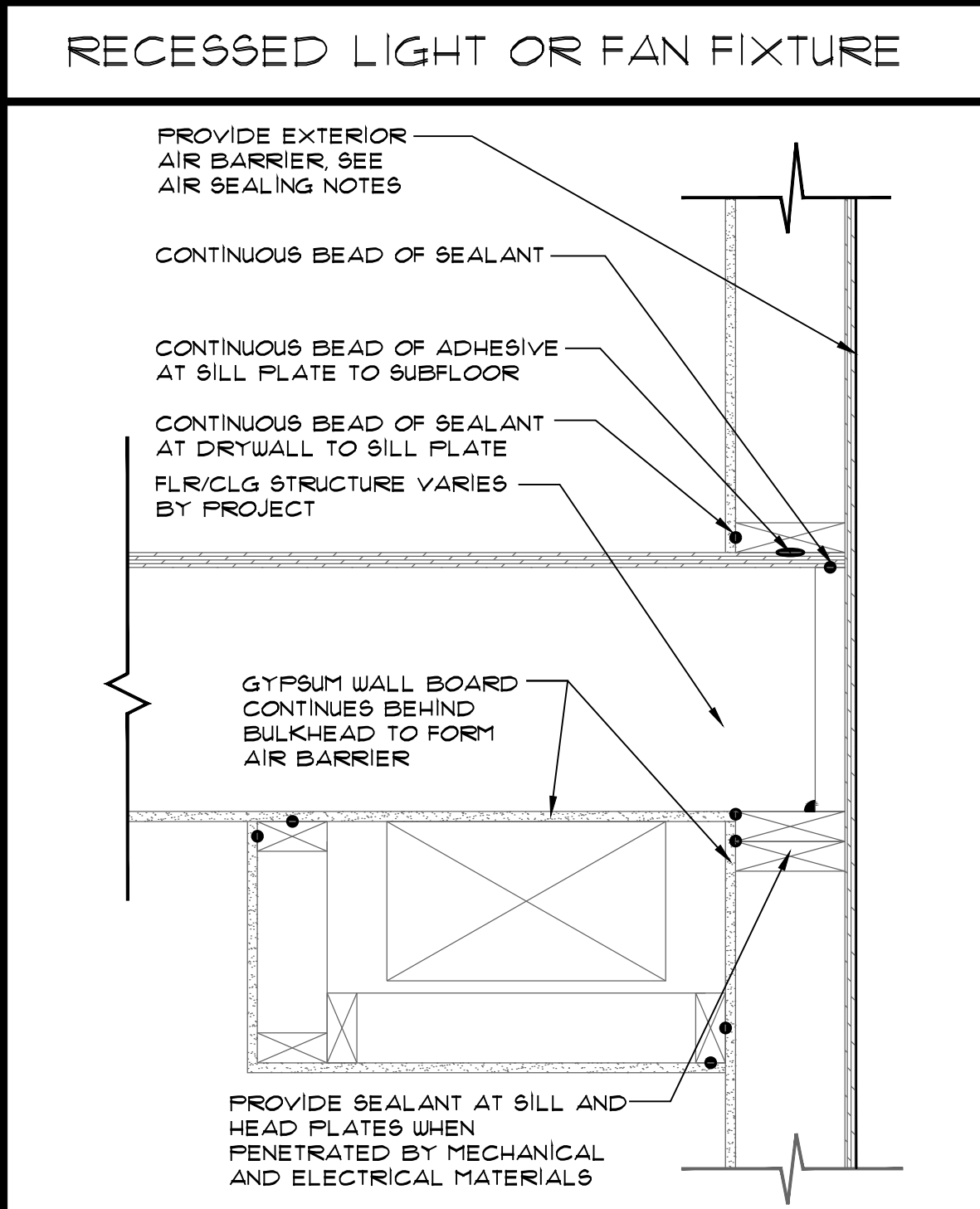
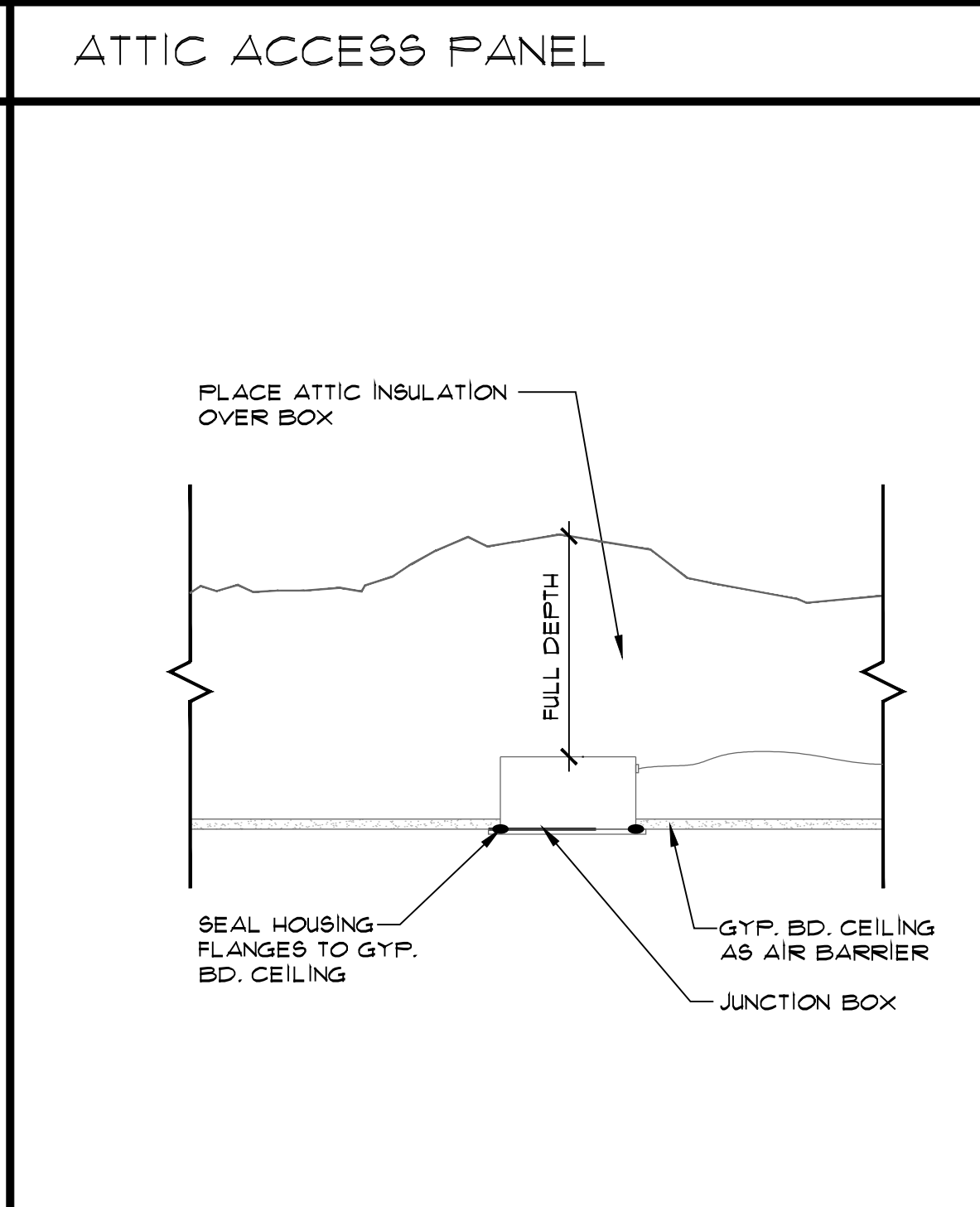
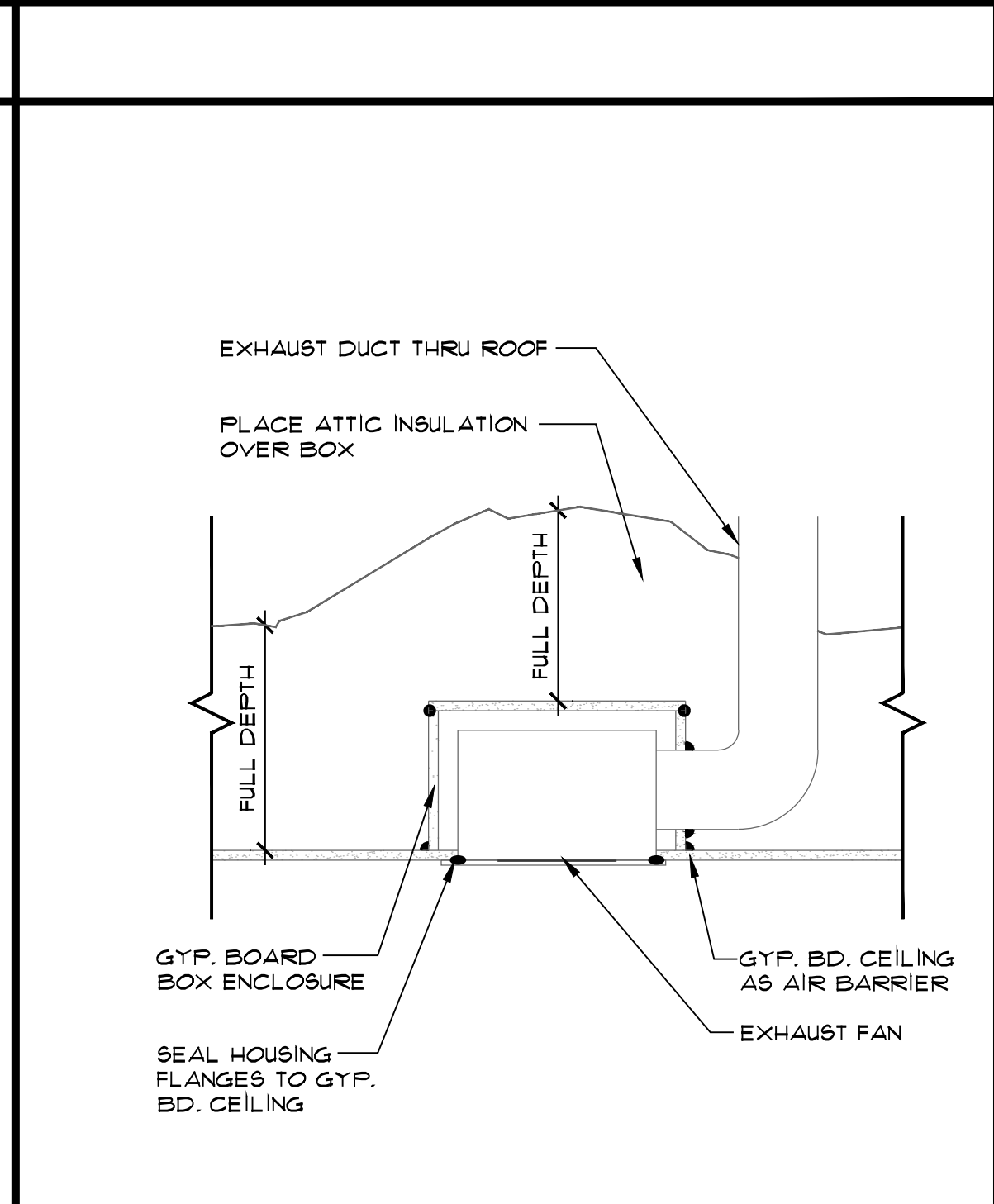
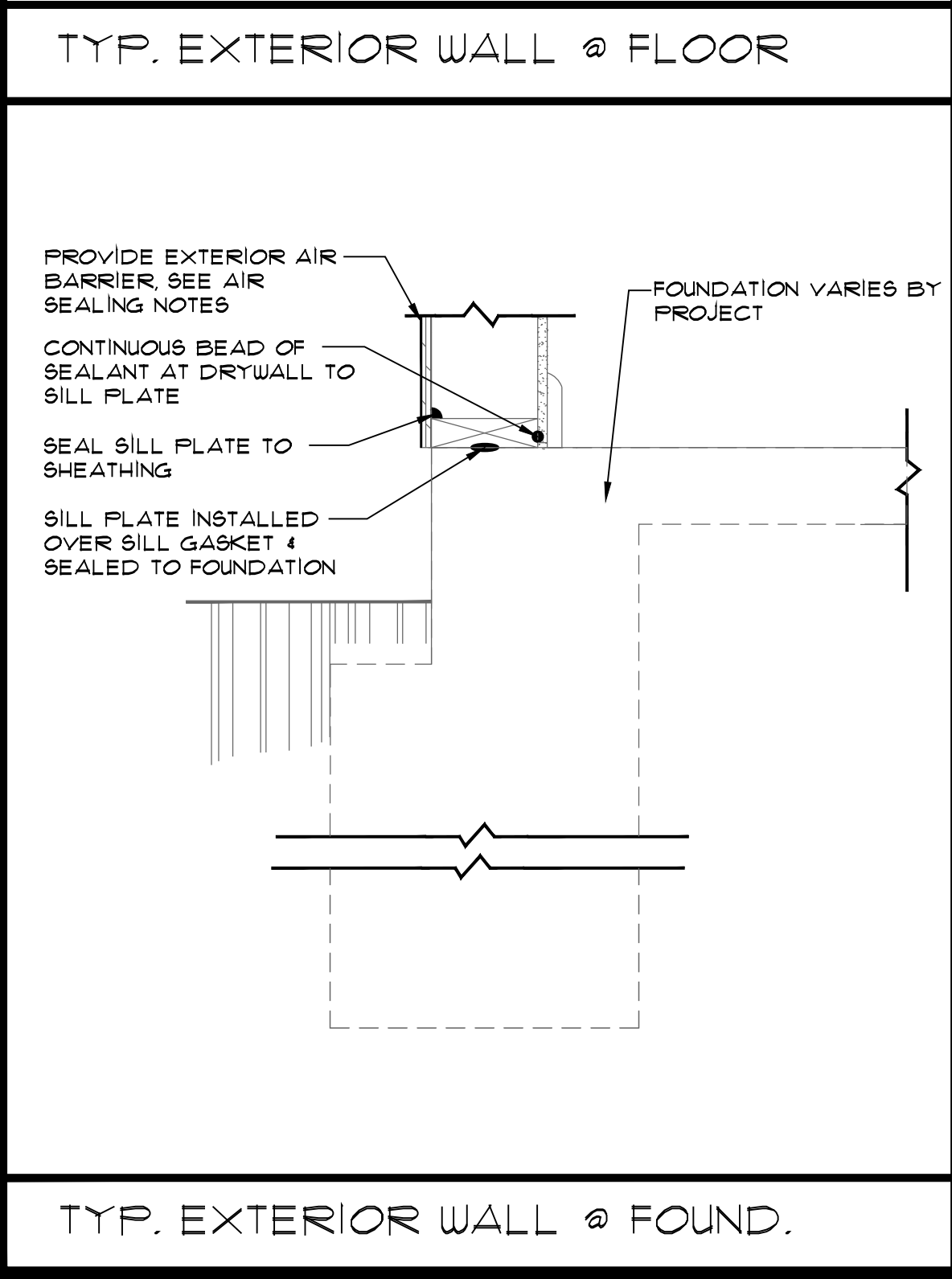
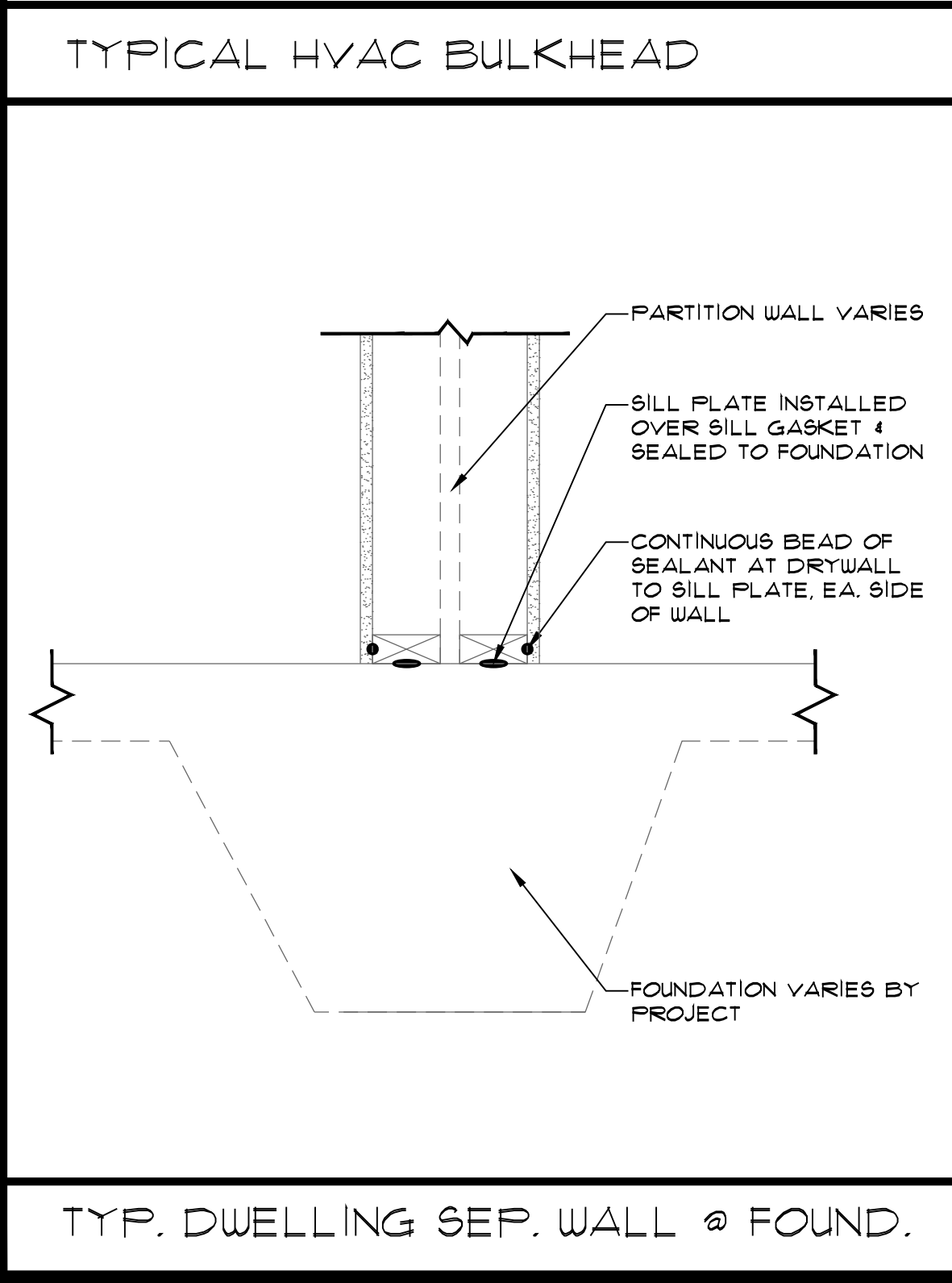
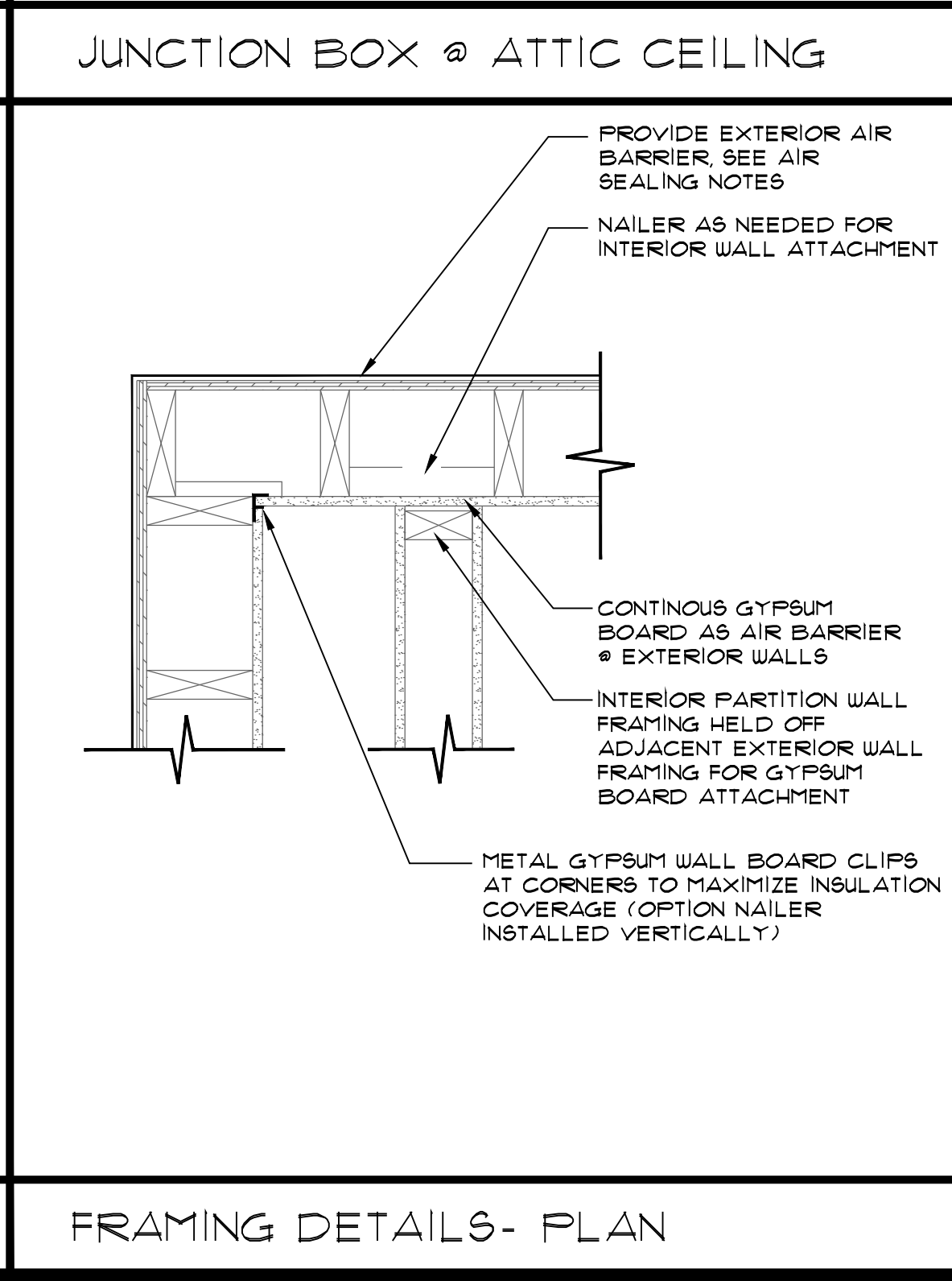
- TYPICAL SECTION NOTES-
THRESHOLD:**
1. ROOFING - HIGH PERFORMANCE & DURABLE SHINGLED ROOFING WITH 30+ YEAR WARRANTY.
 2. DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
 3. INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. AIR QUALITY - ALL PAINTS, SEALERS, ADHESIVES, ETC. ARE LOW OR NO VOC.
 5. CARPETS - ALL CARPET FLOORING MATERIALS ARE GREEN LABEL PLUS CERTIFIED.
 6. CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
 7. MOLD - ALL OBSERVED AREAS OF MOLD, MILDEW, & MOISTURE INFILTRATION WITHIN THE BUILDING WILL BE CORRECTED.
 8. RADON GAS - PASSIVE RADON REDUCTION PIPE SYSTEM IS PROVIDED.
 9. WATER CONSERVATION - ALL PLUMBING FIXTURES ARE WATER-CONSERVING.
 10. HVAC - HVAC SYSTEM IS ENERGY STAR RATED OR EXCEEDS ENERGY STAR REQUIREMENTS. ALL ELECTRIC HVAC & WATER HEATING IS USED.
 11. APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
 12. LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
 13. WINDOWS - WINDOWS ARE ENERGY STAR RATED.
 14. NEW MECHANICAL VENTILATION TERMINATES AT THE EXTERIOR OF THE BUILDING.
 15. PER THE ENERGY AUDIT, THE PROJECT ACHIEVES MIN. 15% IMPROVED ENERGY SAVINGS.
 16. DRAFTSTOPPING AND AIR SEALING FOR UNIT COMPARTMENTALIZATION AND SEALING THE BUILDING THERMAL ENVELOPE ARE PROVIDED.

TYPICAL CONSTRUCTION NOTES (UNITS)	
TYPICAL ASSEMBLIES ARE <u>EXISTING</u> UNLESS NOTED AS NEW	
TYPICAL SHINGLE ROOF 30 YEAR FIBERGLASS ARCHITECTURAL STYLE SHINGLES W/ 15 LB. FELT OVER <u>EXISTING</u> ROOF SHEATHING (REPLACE SHEATHING AS NEEDED) ON ROOF TRUSSES. PROVIDE NEW INSULATION & AIR SEALING @ ATTICS. TYPICAL EXTERIOR WALL ASSUMED - 2X6 WOOD STUD WALLS W/ SHEATHING & GYPSUM BOARD @ INTERIOR. PROVIDE NEW CEMENTITIOUS SIDING & URB. REPLACE & DETERIORATED SHEATHING W/ SIMILAR TYPE. CLEAN & POINT UP EXISTING BRICK VENEER. TYPICAL INTERIOR NON-BEARING WALL 2X4 W/ GYPSUM BOARD BOTH SIDES. TYPICAL FOUNDATION CMU OR CONCRETE W/ SPREAD FOOTING WITH REBAR TO MATCH EXISTING IN AREAS OF RECONSTRUCTION. TYPICAL SLAB ON GRADE 4" CONCRETE SLAB REINFORCED W/ 6X6 14X14 WJM OVER 4" GRAVEL & 10 MIL POLY VAPOR BARRIER. SLAB & CONCRETE STEM WALL IN AREAS OF RECONSTRUCTION. TYPICAL SOFFIT VINYL VENTED SOFFIT @ EAVES. VINYL NON-VENTED SOFFIT @ PORCH CEILINGS. TYPICAL INSULATION (NEW) - EXTERIOR WALLS - R-21 BATT IN ASSUMED 2X6 WALLS. - ATTIC - R-60 BLOW-IN @ ROOF AREAS PROVIDE NEW BAFFLE. *** REPLACE IF DETERIORATED W/ SAME R- VALUE IN AREAS NOT NEW. TYPICAL WINDOW (NEW) SINGLE-HUNG, CASEMENT ENERGY STAR RATED VINYL WINDOW. TYPICAL TRIM (NEW): - TYPICAL FRIEZE: 3/4X6 PVC FRIEZE BOARD. - TYPICAL FASCIA & RAKE: 1X6 @ FASCIA & RAKES OVER 2X WOOD SUB-FASCIA & RAKE W/ ALUMINUM WRAP. - TYPICAL WINDOW SURROUND: 3/4X4 PVC TRIM @ JAMB & SILL WITH DECORATIVE PVC HEAD AS INDICATED. PROVIDE PVC BRICK MOLD AS NEEDED IN EXISTING OPENINGS. - TYPICAL DOOR SURROUND: 3/4X4 PVC TRIM @ JAMB W/ 3" DECORATIVE HEAD. - TYPICAL TRIM BOARD: 3/4X10 PVC TRIM. TYPICAL ENTRY DOORS (NEW) 20 GA. METAL OR FIBERGLASS INSULATED ENTRY DOORS (2 PANEL 3 LITE). SEE ELEVATION FOR STYLE. TYP. EXTERIOR STORAGE DOORS (NEW) 20 GA. FLUSH METAL INSULATED DOORS. TYPICAL CABINETRY (NEW) PLYWOOD BOX DURABLE CABINETRY.	TYPICAL TUB SURROUNDS (NEW) CERAMIC TILE ON CEMENT BACKER BOARD. REPLACE ANY DETERIORATED WOOD/GYP. ADJACENT TO TUB SURROUNDS. TYPICAL CEILING FANS ENERGY STAR CEILING FANS W/ LED LIGHT KITS. TYPICAL FINISH FLOORING (NEW) KITCHENS - VINYL PLANK (10 YEAR WARRANTY). BATHS - SHEET VINYL (10 YEAR WARRANTY). LIVING/DINING - VINYL PLANK (10 YEAR WARRANTY). BEDROOMS - VINYL PLANK (10 YEAR WARRANTY). STORAGE - VCT/SHEET VINYL (10 YEAR WARRANTY). STAIRS - VINYL TREADS. TYPICAL STRUCTURAL SYSTEMS ALL STRUCTURE IS <u>EXISTING</u> & ASSUMED TO BE ROOF TRUSSES ON 2X6 WALLS W/ WOOD FLOOR JOISTS @ SECOND FLOORS ON MASONRY FOUNDATION WALLS W/ CONCRETE FOOTINGS. FOLLOW THE RECOMMENDATIONS IN BUILDING EVALUATION REPORT (BER) FOR REPAIR AND/OR REPLACEMENT. TYPICAL MECHANICAL SYSTEM (NEW) HIGH EFFICIENCY FTAC'S W/ DUCTS TO ALL MAJOR ROOMS. TYPICAL PLUMBING SYSTEMS LOW FLOW TOILETS 128 GPF, FAUCETS 2.0 GPM, FIXTURES- ALL LOW FLOW FIXTURES, PVC DRAINS, CPVC SUPPLY. EXISTING ELECTRICAL SYSTEM DEDICATED UTILITY METER & EXISTING 125 A SERVICE. PROVIDE NEW PANEL BOXES (SQUARE D OR EQUAL). TYPICAL RADON MITIGATION IF NEEDED AFTER TESTING, PROVIDE PVC VENT PIPE TAPPED INTO SUB-SLAB AREA. TYPICAL AIR SEALING (NEW) AIR SEALING & WEATHERIZATION @ ALL WALLS, CEILINGS, EXPOSED AREAS, ETC. REFER TO AIR SEALING DETAILS FOR ALL WORK. FOLLOW THE D.O.E. AIR LEAKAGE GUIDE. TYPICAL CONSTRUCTION METHOD: ALL TYPICAL INDUSTRY STANDARDS & MANUFACTURER'S INSTALLATION INSTRUCTIONS ARE TO BE UTILIZED FOR THE REHABILITATION OF THE UNITS. NATIONAL GREEN BUILDING STANDARDS 2020 REHAB PATH CRITERIA WILL BE INCORPORATED INTO THE DESIGNS & SPECIFICATIONS.

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			TYP. RENOVATION AIR SEALING AIR SEALING NOTES: (*PROVIDE IN ACCORDANCE WITH RELEVANT IECC SECTIONS AND U.S. DEPARTMENT OF ENERGY BUILDING TECHNOLOGIES PROGRAM AIR LEAKAGE GUIDE*) **AIRSEAL ITEMS EXPOSED DURING RENOVATION. REMOVAL OF ITEMS NOT IN SCOPE NOT REQUIRED. MINIMUM VERIFICATION MUST BE COMPLETED BY SAMPLING 10% OF THE UNITS W/ A BLOWER DOOR TEST.** GENERAL: 1. SEALANT: CAULK, GLUE, FOAM GASKET, WEATHER STRIP OR OTHERWISE TAPED OR COVERED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM, OR SOLID MATERIAL TO LIMIT INFILTRATION. ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION BETWEEN DISSIMILAR MATERIALS. 2. MAIN CONSTRUCTION ITEMS NOT SHOWN FOR CLARITY. REFER TO SECTIONS AND TYPICAL CONSTRUCTION NOTES FOR MORE INFORMATION. 3. PROVIDE SEALANT AT ALL NEW AND EXPOSED PENETRATIONS THROUGH BAND BOARDS AND SEAL ALL BAND BOARD JOINTS/SEAMS. 4. GYPSUM BOARD WALLS & CEILINGS (WHERE APPLICABLE) 4.1. CEILING GYPSUM BOARD TAPED TO WALL GYPSUM BOARD, TYP. 4.2. WALL GYPSUM BOARD SEALED TO WALL PLATE. 4.3. SEAL ALL PENETRATIONS & RECESSED COMPONENTS TO GYP. BOARD AT EXTERIOR WALLS & CEILING INCLUDING ALL ELECTRIC, PLUMBING & HVAC PENETRATIONS. 5. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT & SEALED WHERE HOUSING MEETS SHEATHING. 6. SEAL ALL TUB ACCESS PANELS IF APPLICABLE. 7. PATCH & SEAL ALL DAMAGED DRYWALL THAT IS CONCEALED AFTER WORK IS COMPLETED (i.e. BEHIND CABINETS, EQUIP., APPLIANCES, ETC.) 8. PATCH & SEAL ALL PENETRATIONS AND BREAKS IN THE AIR BARRIERS SHOWN ON DETAILS, AND AT INTERSECTIONS OF DIFFERENT BUILDING MATERIALS. 9. CAULK GYP. BD. TO SILL PLATE AT ALL WALLS W/ NEW BASE TRIM. 10. PARTITION WALL PENETRATIONS TO BE SEALED WITH SAME LEVEL OF ATTENTION GIVEN TO EXTERIOR WALLS. 11. SEAL ALL HVAC CLOSET CEILINGS, ELECTRICAL PANEL/OUTLET/SWITCH BOXES, CABLE BOXES, WIRING PENETRATIONS, MED. CABS AND PLUMBING PENETRATIONS (INCLUDING THOSE COVERED WITH ESCUTCHEON PLATES. SEAL ALL DUCT OPENINGS TO WALL SHEATHING. 12. INSURE SEALANTS, FOAMS, ETC. ARE APPROPRIATE FOR FIRE RATED ASSEMBLIES, PRIOR TO INSTALLATION. DUCT SEALING NOTES: 1. SEAL ALL SEAMS AT NEWLY INSTALLED METAL DUCTWORK OR EXISTING TO REMAIN DUCTWORK UNCOVERED DURING COURSE OF WORK. 2. SEAL ALL CONNECTIONS OF NEW HVAC EQUIPMENT WITH MASTIC AND TAPE TO EXISTING TO REMAIN DUCTWORK. 3. ALL EXISTING TO REMAIN DUCTWORK LOCATED IN ATTIC TO BE SEALED AND INSULATED TO EXTENT POSSIBLE. 4. PROVIDE VERIFICATION OF DUCT SEALING UTILIZING DUCT BLASTING TEST FOR 10% OF THE UNITS OR AS REQUIRED BY CODE.
			
			
TYP. EXTERIOR WALL @ FLOOR	TYPICAL HVAC BULKHEAD	JUNCTION BOX @ ATTIC CEILING	ATTIC EXHAUST FAN
TYP. EXTERIOR WALL @ FOUND.	TYP. DWELLING SEP. WALL @ FOUND.	FRAMING DETAILS- PLAN	

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www.abd-architects.com

PROJECT

EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

SHEET TITLE & SCALE
AIR SEALING DETAILS
RENOVATION/ADDITION

SCALE: 1-1/2" = 1'-0"

ISSUED FOR:

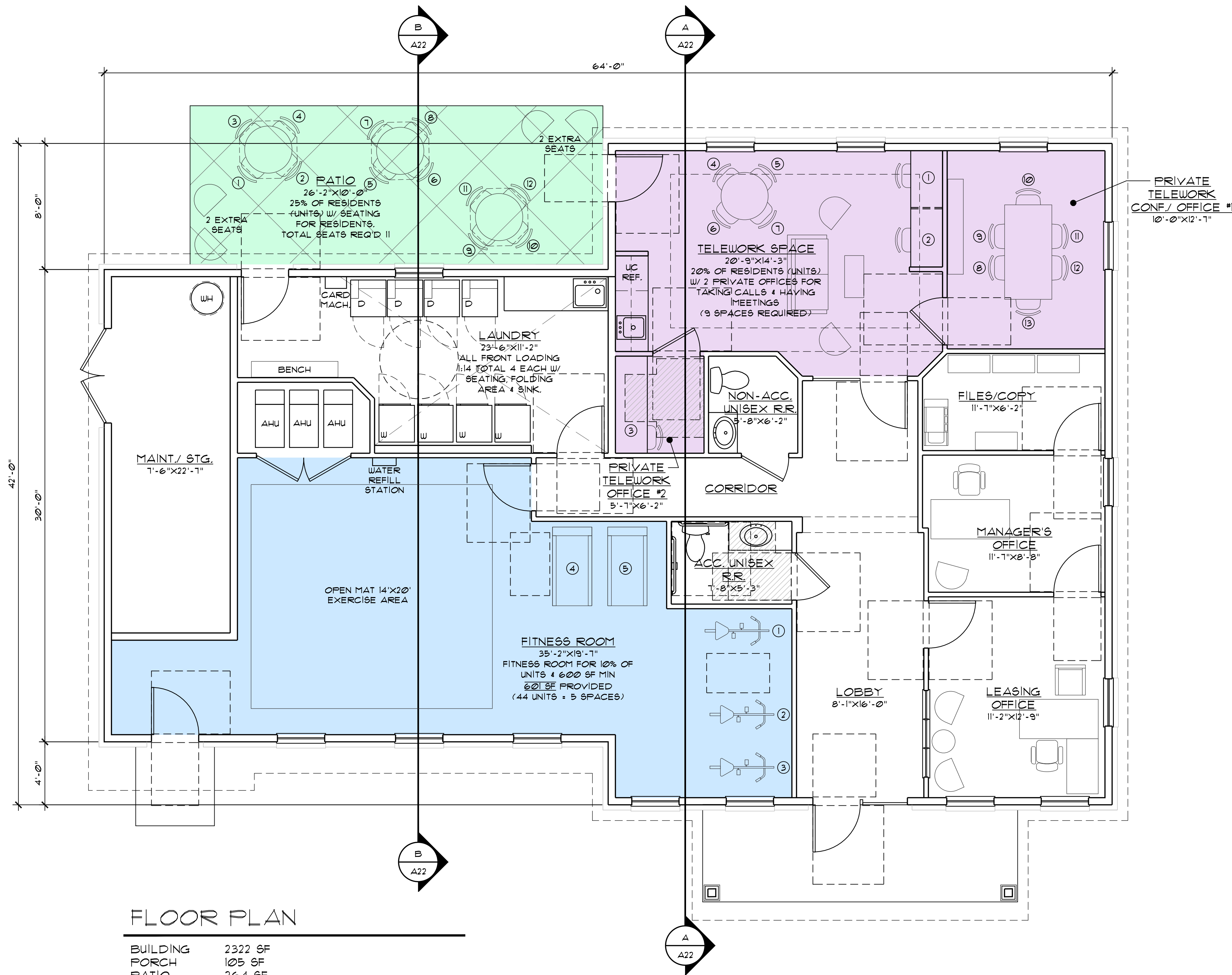
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FLOOR PLAN

BUILDING	2322 SF
FORCH	105 SF
PATIO	264 SF
TOTAL	2691 GSF

LOVABLE PLACES	
	FITNESS AREA
	OUTDOOR SOCIAL AREA
	TELEWORK SPACE

TYPICAL DEVELOPMENT QUALITY PLAN NOTES:

- PROJECT COMPLETES & CERTIFIES GREEN CERTIFICATION (NGBS REHAB PATH 4.6.1).
 - PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
 - HEAT PUMP TECHNOLOGY IS USED FOR DOMESTIC WATER HEATING.
 - BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 - THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
 - THE INTERIOR DOORS ARE paneled & HARDWARE IS OF GRADE 2 OR BETTER QUALITY WITH LEVER HANDLES.
 - HARD FINISH FLOOR COVERING MATERIALS ARE QUALITY WITH 10+ YEAR WARRANTY.
- A. LOVABLE SPACES - COMMUNITY SPACES**
- PROJECT HAS WALKABILITY, CREATING A SENSE OF COMMUNITY WITH VARIOUS AMENITIES AND FEATURES. THE BUILDING IS ORIENTED TO STREETS & PUBLIC SPACES WITH BUILDING ENTRANCES NEXT TO SIDEWALKS & PARKING BEHIND/BELOW THE BUILDING.
- PROVIDES THE FOLLOWING:
- FITNESS CENTER, WITH ENOUGH SPACE AND EQUIPMENT FOR 10% OF RESIDENTS AT A TIME AND INCLUDING A WATER REFILL STATION. MINIMUM SQUARE FOOTAGE BASED ON 10% OF RESIDENTS AT 50 SQUARE FEET PER RESIDENT, AND NO LESS THAN 600 SQUARE FEET.
 - OUTDOOR SOCIAL AREA (I.E., ROOFTOP TERRACE, COURTYARD, GAZEBO, ETC.) WITH ENOUGH SEATING FOR 25% OF RESIDENTS AT A TIME, AND INCLUDES DINING AREAS WITH TABLES, CHAIRS, AND UMBRELLAS OR OTHER SHADE ELEMENTS.
 - DESIGNATED TELEWORK SPACES THAT INCLUDES INTERNET ACCESS, ENOUGH TABLES/DESKS TO SEAT 20% OF RESIDENTS, AMPLE ELECTRICAL OUTLETS NEAR TABLES/DESKS, AND AT LEAST TWO PRIVATE ROOMS INTENDED FOR MEETINGS AND CALLS.

TYPICAL PLAN NOTES- THRESHOLD:

- CODES - PROJECT COMPLIES WITH ALL APPLICABLE STATE & LOCAL BUILDING, ENERGY & ACCESSIBILITY CODES.
- ACCESSIBILITY - PROJECT COMPLIES WITH UFAS AND THE OTHER APPLICABLE ACCESSIBILITY LAWS OR REQUIREMENTS.
- ENERGY CONSULTANT - A CERTIFIED RESNET/BPI RATER WILL ASSURE QUALITY & PERFORM TESTING.
- PEST MANAGEMENT - PROJECT WILL HAVE INTEGRATED PEST MANAGEMENT PROGRAM.
- DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
- DOORS - INTERIOR UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 22-GAUGE MATERIALS.
- LAUNDRY - LAUNDRY FACILITIES ARE LOCATED FOR SAFE, CONVENIENT ACCESS & ARE ADEQUATE FOR THE PROJECT. LAUNDRY ROOM INCLUDES (1) WASHER/DRYER PER 14 FAMILY UNITS, MIN.
- INTERNET - FULL-TIME ACCESS TO HIGH-SPEED INTERNET SERVICE IS PROVIDED.
- INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- AIR QUALITY - ALL PAINTS, SEALERS, ADHESIVES, ETC. ARE LOW OR NO VOC.
- CARPETS - ALL CARPET FLOORING MATERIALS ARE GREEN LABEL PLUS CERTIFIED.
- CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
- WATER CONSERVATION - ALL PLUMBING FIXTURES ARE WATER-CONSERVING.
- HVAC - HVAC SYSTEM IS ENERGY STAR RATED OR EXCEEDS ENERGY STAR REQUIREMENTS. ALL ELECTRIC HVAC & WATER HEATING IS USED.
- APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
- LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
- WINDOWS - WINDOWS ARE ENERGY STAR RATED.
- CABINETS - CABINETS WILL BE PLYWOOD BOX CONSTRUCTION, HAVE DOORS THAT ARE SOLID WOOD, UTILIZE HARDWARE/FINISHES THAT ARE DURABLE, AND INCLUDE DOOR/DRAWER PULLS.
- THE PROJECT IS CERTIFIED UNDER ENERGY STAR CERTIFIED HOMES.
- THE PROJECT MEETS VISIBILITY & UNIVERSAL DESIGN STANDARDS FOR 25% MIN. OF UNITS & COMMON AREAS.
- ALL SUPPLY DUCTING WILL BE SEALED & INSULATED.
- BI-FOLD DOORS ARE NOT USED.
- PROJECT UTILIZES HIGH-PERFORMANCE ALL-ELECTRIC HEATING/COOLING, HOT WATER EQUIPMENT, & APPLIANCES.

TYP. PLAN NOTES:

- ITEMS/NOTES SHOWN ARE TYPICAL FOR ALL UNIT/BUILDING PLANS.
- ALL ITEMS INCLUDED IN NOTE BOXES ARE TYPICAL THROUGHOUT THE SHEET.

THRESHOLD	
1.	
2.	

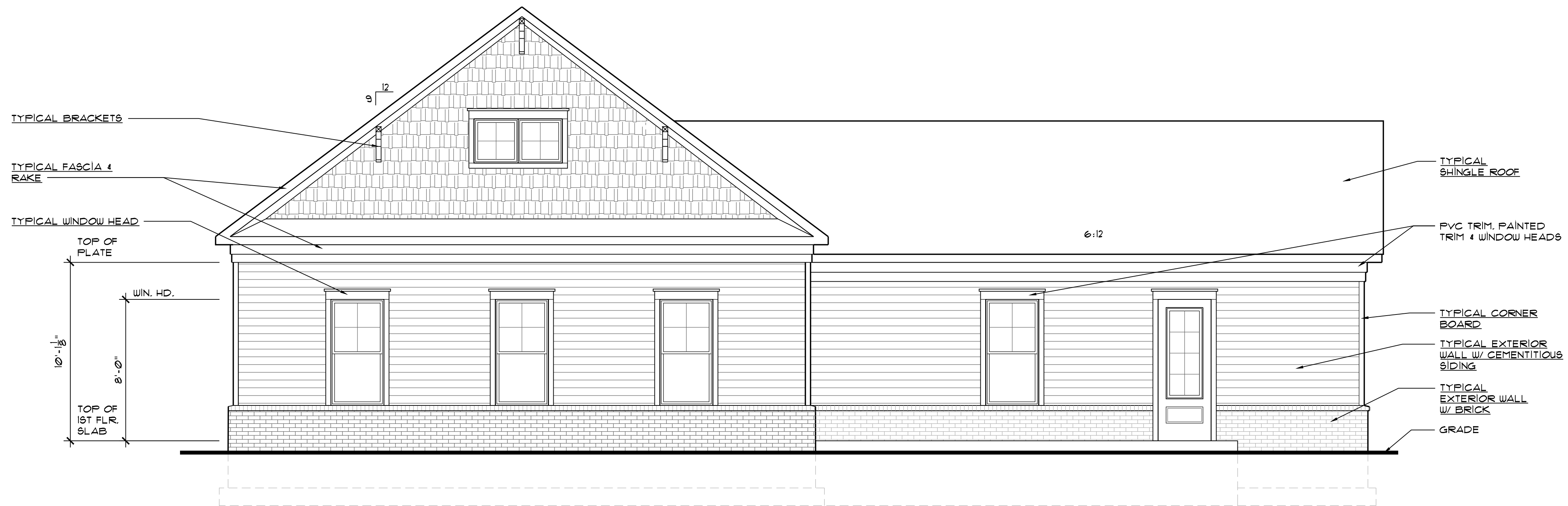
DEV. QUALITY	
1.	
2.	

COMMUNITY BUILDING

A19



FRONT ELEVATION



REAR ELEVATION

TYPICAL ELEVATION NOTES-THRESHOLD:

1. ROOFING - HIGH PERFORMANCE & DURABLE SHINGLED ROOFING WITH 30+ YEAR WARRANTY.
2. DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
3. WINDOWS - WINDOWS ARE ENERGY STAR RATED.

TYPICAL DEVELOPMENT QUALITY ELEVATION NOTES:

1. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
2. BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION. & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
3. THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD. & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
4. CORNER EAVES, ENHANCED PANELS AND TRIM AROUND ENERGY STAR WINDOWS ARE MADE OF COMPOSITE/DURABLE MATERIALS AND ADD INTEREST/UNIQUENESS TO THE BUILDING FACADES.
5. 75% MIN. HIGHLY DURABLE MATERIAL UTILIZED ON BUILDING FACADES.

TYP. ELEVATION NOTES:

1. SEE TYPICAL CONSTRUCTION NOTES ON SHEET A22 FOR MORE INFORMATION.
2. ITEMS NOTED ARE TYPICAL FOR ALL BUILDING ELEVATIONS.
3. ALL ITEMS INCLUDED IN NOTE BOXES ARE TYPICAL THROUGHOUT THE SHEET.

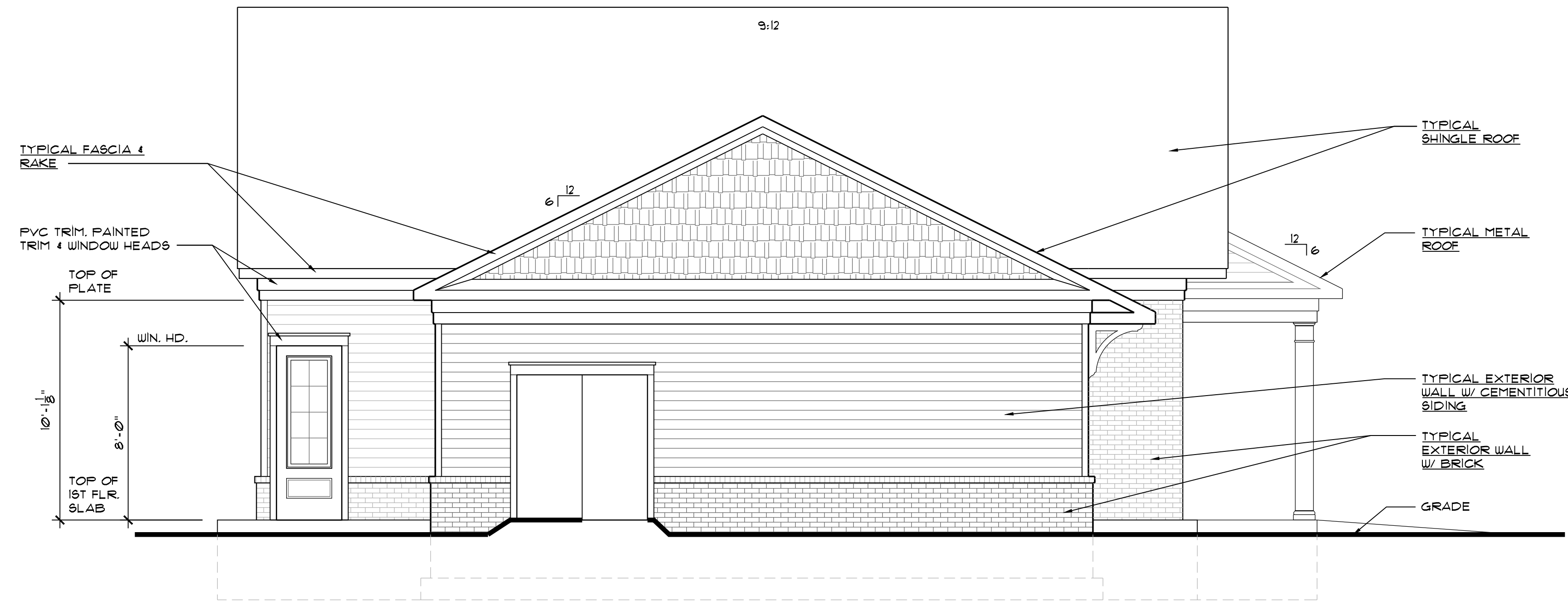
THRESHOLD
1.
2.

DEV. QUALITY
1.
2.

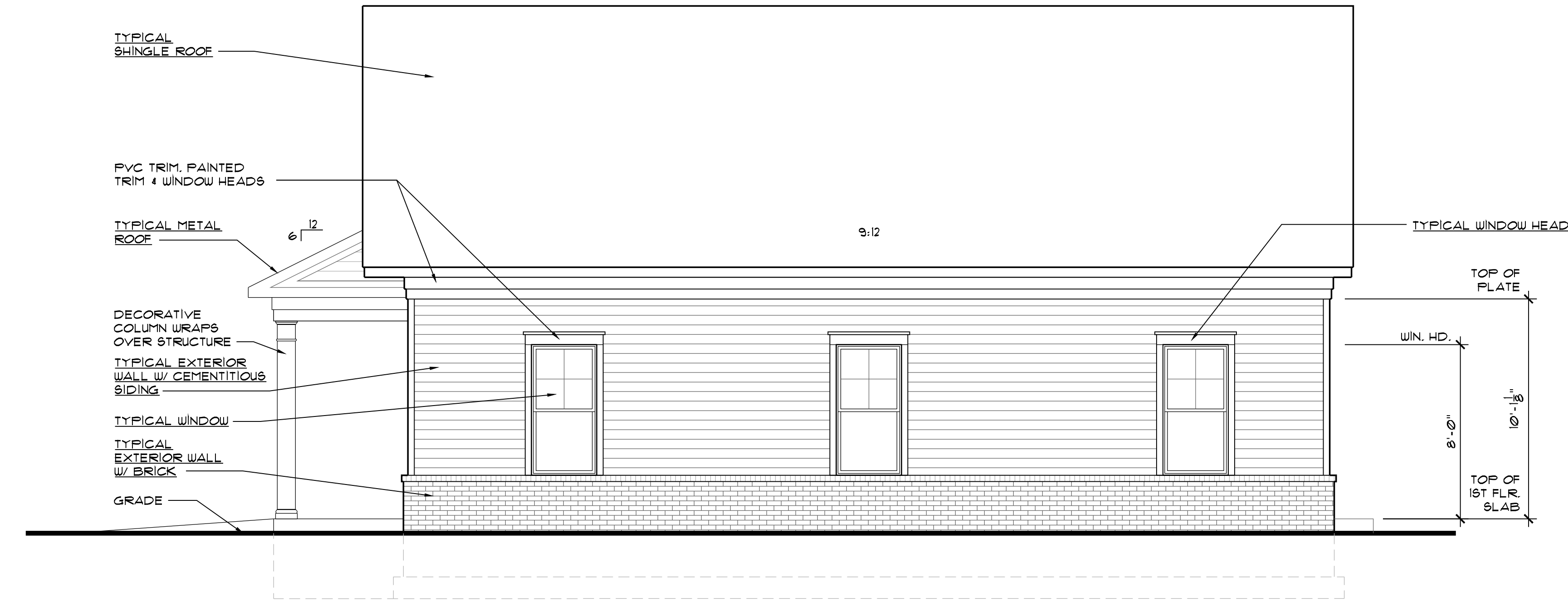
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COMMUNITY BUILDING

A20



LEFT ELEVATION



RIGHT ELEVATION

- TYPICAL ELEVATION NOTES-THRESHOLD:**
1. ROOFING - HIGH PERFORMANCE & DURABLE SHINGLED ROOFING WITH 30+ YEAR WARRANTY.
 2. DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
 3. WINDOWS - WINDOWS ARE ENERGY STAR RATED.

- TYPICAL DEVELOPMENT QUALITY ELEVATION NOTES:**
1. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.
 2. BUILDING ENTRIES PROVIDE SECURITY & WEATHER PROTECTION, & INCLUDES SPACE FOR RECREATIONAL & SOCIAL GATHERINGS.
 3. THE STYLE OF THE BUILDING ARCHITECTURE & MASS COMPLEMENT THE EXISTING NEIGHBORHOOD, & USES ARCHITECTURAL FEATURES AND DESIGN ELEMENTS THAT ADD INTEREST AND/OR FUNCTIONALITY & UNITY WITH NEARBY ARCHITECTURAL STYLES.
 4. CORNER EAVES, ENHANCED PANELS AND TRIM AROUND ENERGY STAR WINDOWS ARE MADE OF COMPOSITE/DURABLE MATERIALS AND ADD INTEREST/UNIQUENESS TO THE BUILDING FACADES.
 5. 75% MIN. HIGHLY DURABLE MATERIAL UTILIZED ON BUILDING FACADES.

TYP. ELEVATION NOTES:

1. SEE TYPICAL CONSTRUCTION NOTES ON SHEET A22 FOR MORE INFORMATION.
2. ITEMS NOTED ARE TYPICAL FOR ALL BUILDING ELEVATIONS.
3. ALL ITEMS INCLUDED IN NOTE BOXES ARE TYPICAL THROUGHOUT THE SHEET.

THRESHOLD	DEV. QUALITY
1.	1.
2.	2.

UNITY BUILDING

PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP

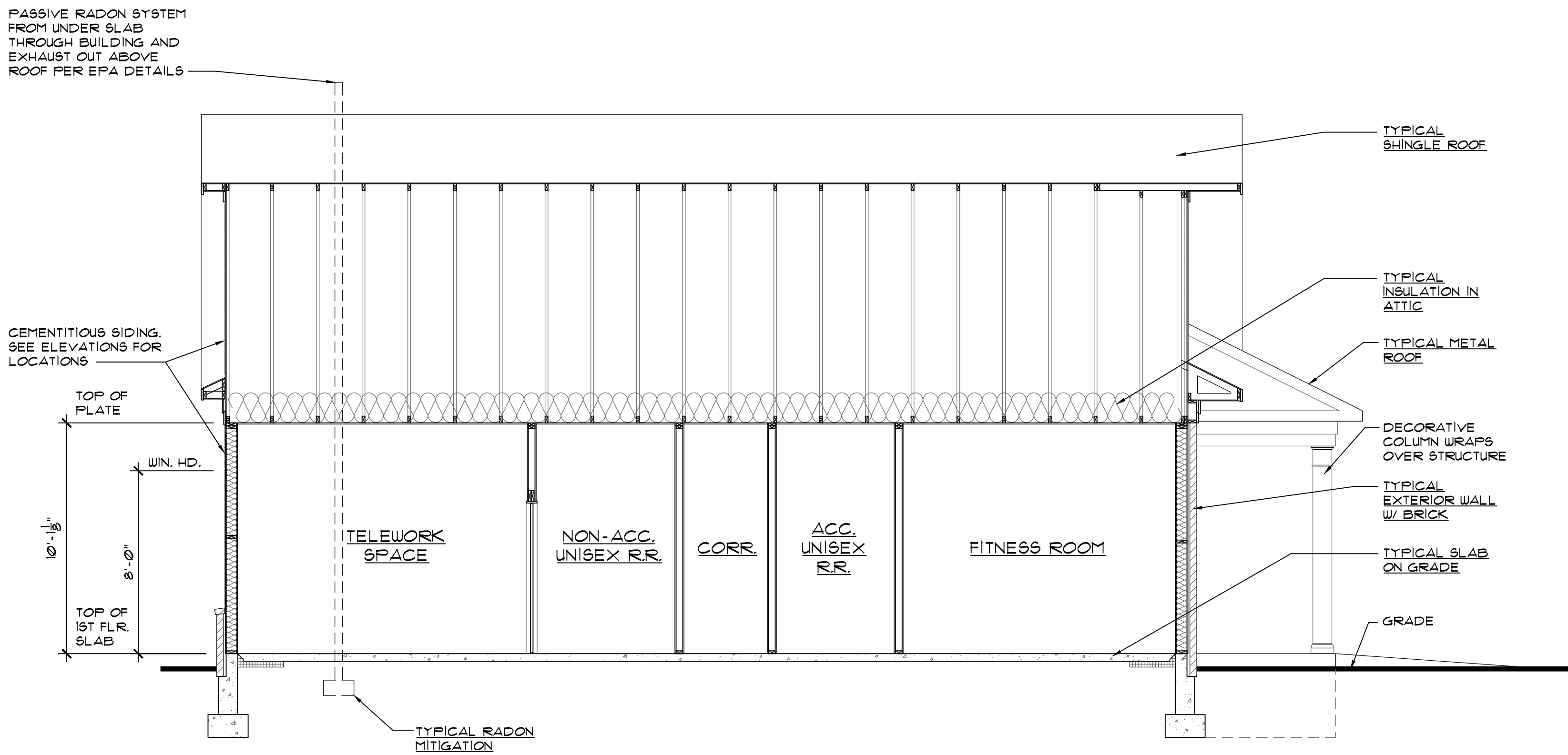
SHEET TITLE & SCALE
NEW COMMUNITY BUILDING ELEVATIONS
SCALE: 1/4" = 1'-0"

ISSUED FOR:
APP SUBMISSION 1/15/2026

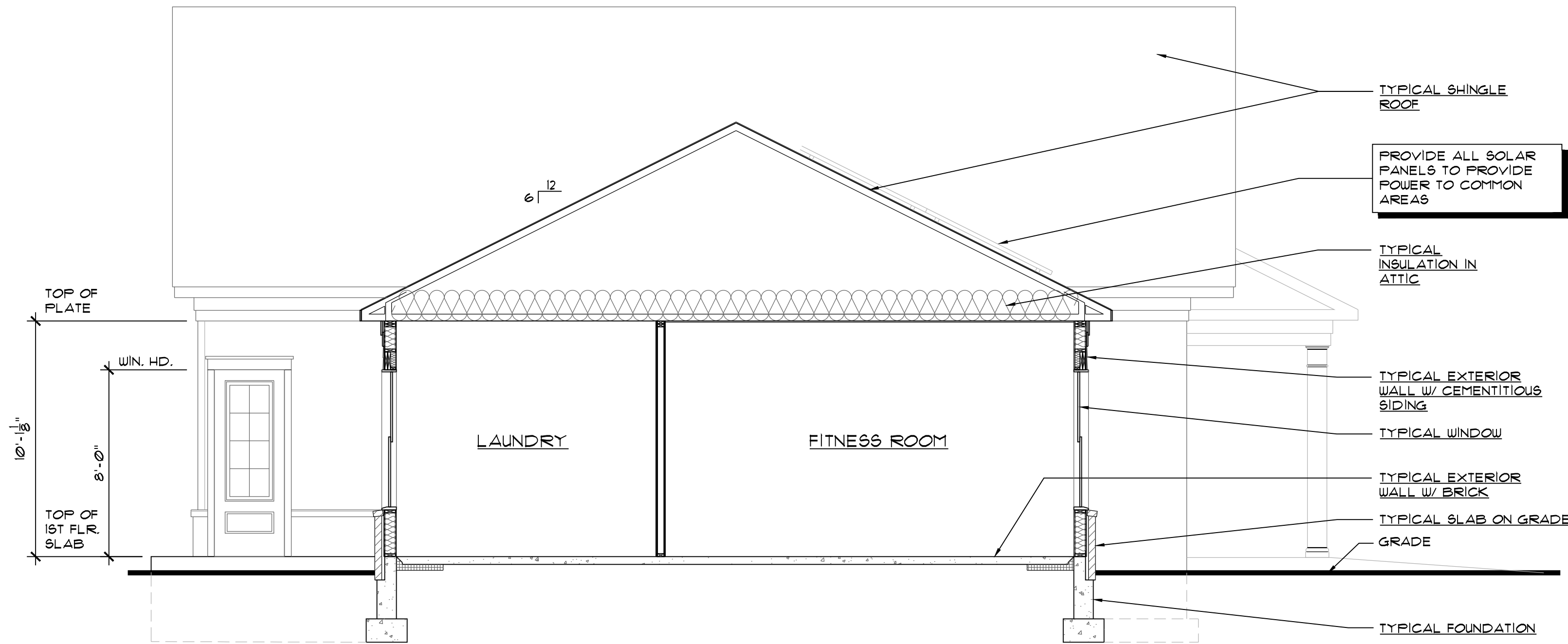
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A21

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BUILDING SECTION A



BUILDING SECTION B

TYPICAL SECTION NOTES-
THRESHOLD:

1. ROOFING - HIGH PERFORMANCE & DURABLE SHINGLED ROOFING WITH 30+ YEAR WARRANTY.
2. DOORS - EXTERIOR/UNIT ENTRY DOORS ARE TOP-QUALITY MINIMUM 20-GAUGE METAL/SOLID CORE WOOD/FOAM FILLED FIBERGLASS WITH DURABLE FRAMES & HARDWARE.
3. INSTALLATION - ALL PRODUCTS & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. AIR QUALITY - ALL PAINTS, SEALERS, ADHESIVES, ETC. ARE LOW OR NO VOC.
5. CFC - CFC REFRIGERANT IS NOT USED IN NEW HVAC EQUIPMENT.
6. RADON GAS - PASSIVE RADON REDUCTION PIPE SYSTEM IS PROVIDED.
7. WATER CONSERVATION - ALL PLUMBING FIXTURES ARE WATER-CONSERVING.
8. HVAC - HVAC SYSTEM IS ENERGY STAR RATED OR EXCEEDS ENERGY STAR REQUIREMENTS. ALL ELECTRIC HVAC & WATER HEATING IS USED.
9. APPLIANCES - ALL APPLIANCES & BATHROOM EXHAUST FANS ARE ENERGY STAR RATED.
10. LIGHTING - ONLY LED LIGHTING FIXTURES OR LAMPS W/ HIGH EFFICIENCY ARE USED.
11. WINDOWS - WINDOWS ARE ENERGY STAR RATED.
12. THE PROJECT IS CERTIFIED UNDER ENERGY STAR CERTIFIED HOMES.
13. PROJECT UTILIZES HIGH-PERFORMANCE ALL-ELECTRIC HEATING/COOLING, HOT WATER EQUIPMENT, & APPLIANCES.

TYPICAL DEVELOPMENT
QUALITY SECTION NOTES:

1. PROJECT WILL PROVIDE CHECKLIST & MAJOR "GREEN STANDARD" (NGBS, GREEN GLOBES, EGC, EARTHCRAFT, ETC.)
2. PROJECT UTILIZES ALTERNATIVE ENERGY. SOLAR IS USED FOR ELECTRIC GENERATION OF COMMON AREAS.

TYPICAL CONSTRUCTION NOTES

TYPICAL SHINGLE ROOF
30 YEAR FIBERGLASS ARCHITECTURAL STYLE SHINGLES ON 15 LB. FELT, OVER 1/16" OSB ROOF SHEATHING W/ CLIPS ON ROOF TRUSSES @ 24" OC.

TYPICAL METAL ROOF
STANDING SEAM METAL ROOFING W/ SNOW GUARDS & 15 LB. FELT ON 1/16" OSB SHEATHING W/ CLIPS ON ROOF TRUSSES OR RAFTERS.

TYPICAL EXTERIOR WALL W/ BRICK
2X6 WOOD STUD WALLS W/ OVERSIZED BRICK VENEER & AIRSPACE OVER WRB ON CONT. INSULATION ATTACHED TO 1/16" OSB SHEATHING. 1/2" GYPSUM BOARD @ INTERIOR. PROVIDE OVERSIZED BRICK SOLDIER COURSE HEAD & BRICK SILL @ WINDOWS & DOORS. INSULATE PER NOTES BELOW.

TYPICAL EXTERIOR WALL W/ CEMENTITIOUS SIDING
2X6 WOOD STUD WALLS W/ CEMENTITIOUS LAP SIDING OVER WRB ON CONT. INSULATION ATTACHED TO 1/16" OSB SHEATHING. 1/2" GYPSUM BOARD @ INTERIOR.

TYPICAL INSULATION (MIN.)
ATTIC - MIN. R-49 BLOWN IN FIBERGLASS INSULATION (FULL DEPTH).
EXTERIOR WALLS - R-21 HIGH DENSITY BATT INSULATION IN CAVITY W/ MIN. 3/4" R-5 CONT. INSULATION @ EXTERIOR.
PERIMETER - R-15, 24" BELOW.

TYPICAL SYNTHETIC TRIM (AZEK OR SIM.)
FASCIA & RAKE - 3/4X6 W/ 2X SUBFASCIA.
FRIEZE - 3/4X6 OVER 3/4X12 DOUBLE FRIEZE.
WINDOW SURROUNDS - 3/4X4 TRIM IN SIDING & BRICK (SIDES ONLY @ BRICK).
WINDOW HEAD - 9" H DECORATIVE WINDOW HEAD @ SIDING & BRICK SOLDIER @ MASONRY.
CORNER BOARD - 3/4X4 TRIM.
BRACKETS - 30"x30"x6" & 24"x18"x4" SYNTHETIC DECORATIVE BRACKET. PROFILES TBD.

TYPICAL WINDOW
SINGLE-HUNG ENERGY STAR RATED VINYL WINDOW.

TYPICAL FOUNDATION
10" WIDE CONC. WALL ON CONCRETE SPREAD FOOTING BEARING BELOW FROST DEPTH W/ REINFORCING.

TYPICAL SLAB ON GRADE
4" CONCRETE SLAB REINFORCED W/ 6X6 14X14 W/M OVER 4" GRAVEL AND 10 MIL POLY VAPOR BARRIER PROVIDE CONTROL JOINTS AT 130 FT INTERVALS OR AS REQUIRED IN SPECIFIC LOCATIONS. PROVIDE THERMAL BREAK BETWEEN SLAB AND CONC. STEM WALL.

TYPICAL PORCH SLAB/FOUNDATION
MONOLITHICALLY POURED 4" CONC. SLAB ON 4" GRAVEL FILL, REINFORCED WITH #4 BARS EA. WAY & 6X6 14X14 MESH W/ TURNED DOWN 30" BELOW GRADE MIN. FOOTING.

TYPICAL INTERIOR DOORS
PANELED HARDBOARD DOORS WITH GRADE 2 LEVER HARDWARE THROUGHOUT

TYPICAL CABINETRY
PLYWOOD BOX DURABLE CABINETRY (WET BAR & RESTROOMS) SIM. TO ADVANTA "EXTREME"

TYPICAL MECHANICAL SYSTEM
ENERGY STAR RATED 152 SEER2, HSPF2 13 MIN. ELECTRIC SPLIT SYSTEM HEAT PUMP W/ ADEQUATE DUCTS TO ALL MAJOR ROOMS.

TYPICAL PLUMBING SYSTEMS
LOW FLOW TOILETS, FAUCETS, FIXTURES - ALL "WATERSENSE" FIXTURES. PROVIDE HEAT PUMP DOMESTIC WATER HEATER @ ALL UNITS.

TYPICAL ELECTRICAL SYSTEM
DEDICATED UTILITY METER & PANEL W/ COPPER WIRE DISTRIBUTION THROUGHOUT THE BUILDING.

TYPICAL VENTILATION STRATEGY
ENERGY RECOVERY UNITS (ERV) TO BE PROVIDED PER ENERGY CODE.

TYPICAL RADON MITIGATION
PROVIDE SUB-SLAB SEALED VAPOR BARRIER W/ VENTING & MONITORING IF REQUIRED.

TYPICAL STRUCTURAL SYSTEM
PROVIDE OPEN WEB ROOF TRUSSES ON 2X BEARING WALLS & CONCRETE SLABS/FOUNDATIONS.

TYPICAL SOLAR PANELS
SOLAR PV PANELS TO PROVIDE ADDITIONAL ENERGY TO SUPPLEMENT POWER OF COMMON AREAS (EXACT NUMBER & LOCATION, T.B.D.).

TYPICAL AIR SEALING
PROVIDE AIR SEALING @ ALL PENETRATIONS IN THERMAL ENVELOPE. SEE DETAILS (A73) FOR ALL WORK. FOLLOWING THE DOE AIR LEAKAGE GUIDE FOR AREAS NOT DETAILED.

NOTE:
TYPICAL CONSTRUCTION METHODS
CONTRACTOR TO INSTALL ALL MATERIALS, EQUIPMENT, ETC. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NATIONAL GREEN BUILDING STANDARDS 2020 CRITERIA WILL BE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS.

NOTE:
THESE NOTES ARE ISSUED TO CONVEY THE ARCHITECT'S DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY OF THE MATERIALS USED, & FOR THE MEANS & METHODS OF CONSTRUCTION WHICH SHOULD FOLLOW THE MANUFACTURER & CURRENT INDUSTRY STANDARDS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING FLASHING AND/OR SEALANT NECESSARY TO MAINTAIN A WATERPROOF & WEATHER TIGHT BUILDING & TO MINIMIZE THE DETERIORATION OF EXTERIOR MATERIALS.

TYP. SECTION NOTES:

1. ALL ITEMS INCLUDED IN NOTE BOXES ARE TYPICAL THROUGHOUT THE SHEET.

THRESHOLD	DEV. QUALITY
1.	1.
2.	2.

COMMUNITY BUILDING

Architecture
by
Design

8355 Court Avenue • Ellicott City, MD 21043
phone 410-480-3210 • fax 410-480-2480
www.abd-architects.com

PROJECT
EASTON PARKWAY APARTMENTS
PAX DEV. - FOUNDATION DEV. GROUP
SHEET TITLE & SCALE
NEW COMMUNITY BUILDING SECTIONS &
TYPICAL CONSTRUCTION NOTES
SCALE: 1/4" = 1'-0"

ISSUED FOR:
APP SUBMISSION 1/15/2026

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A22

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				TYP. NEW CONSTRUCTION AIR SEALING AIR SEALING NOTES: (***PROVIDE IN ACCORDANCE WITH 2021 IECC SECTION R402.4 AND TABLE R402.4.1, AND U.S. DEPARTMENT OF ENERGY BUILDING TECHNOLOGIES PROGRAM AIR LEAKAGE GUIDE***) ***MINIMUM VERIFICATION MUST BE COMPLETED BY SAMPLING 10% OF THE UNITS WITH A BLOWER DOOR TEST** GENERAL: 1. SEALANT: CAULK, GLUE, FOAM GASKET, WEATHER STRIP OR OTHERWISE TAPED OR COVERED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM, OR SOLID MATERIAL TO LIMIT INFILTRATION. ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION BETWEEN DISSIMILAR MATERIALS. 2. MAIN CONSTRUCTION ITEMS NOT SHOWN FOR CLARITY. REFER TO SECTIONS AND TYPICAL CONSTRUCTION NOTES FOR MORE INFORMATION. 3. PROVIDE SEALANT AT ALL NEW AND EXPOSED PENETRATIONS THROUGH BAND BOARDS AND SEAL ALL BAND BOARD JOINTS/SEAMS. 4. GYPSUM BOARD WALLS & CEILINGS (WHERE APPLICABLE) 4.1. CEILING GYPSUM BOARD TAPED TO WALL GYPSUM BOARD, TYP. 4.2. WALL GYPSUM BOARD SEALED TO WALL PLATE. 4.3. SEAL ALL PENETRATIONS & RECESSED COMPONENTS TO GYP. BOARD AT EXTERIOR WALLS & CEILING INCLUDING ALL ELECTRIC, PLUMBING & HVAC PENETRATIONS. 5. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT & SEALED WHERE HOUSING MEETS SHEATHING. 6. SEAL ALL TUB ACCESS PANELS IF APPLICABLE. 7. PATCH & SEAL ALL DAMAGED DRYWALL THAT IS CONCEALED AFTER WORK IS COMPLETED (I.E. BEHIND CABINETS, EQUIP., APPLIANCES, ETC.) 8. PATCH & SEAL ALL PENETRATIONS AND BREAKS IN THE AIR BARRIERS SHOWN ON DETAILS, AND AT INTERSECTIONS OF DIFFERENT BUILDING MATERIALS. 9. CAULK GYP. BD. TO SILL PLATE AT ALL WALLS W/ NEW BASE TRIM. 10. PARTITION WALL PENETRATIONS TO BE SEALED WITH SAME LEVEL OF ATTENTION GIVEN TO EXTERIOR WALLS. 11. SEAL ALL HVAC CLOSET CEILINGS, ELECTRICAL PANEL/OUTLET/SWITCH BOXES, CABLE BOXES, WIRING PENETRATIONS, MED. CABs AND PLUMBING PENETRATIONS (INCLUDING THOSE COVERED WITH ESCUTCHEON PLATES. SEAL ALL DUCT OPENINGS TO WALL SHEATHING. 12. INSURE SEALANTS, FOAMS, ETC. ARE APPROPRIATE FOR FIRE RATED ASSEMBLIES, PRIOR TO INSTALLATION. DUCT SEALING NOTES: 1. SEAL ALL SEAMS AT NEWLY INSTALLED METAL DUCTWORK OR EXISTING TO REMAIN DUCTWORK UNCOVERED DURING COURSE OF WORK. 2. SEAL ALL CONNECTIONS OF NEW HVAC EQUIPMENT WITH MASTIC AND TAPE TO EXISTING TO REMAIN DUCTWORK. 3. ALL EXISTING TO REMAIN DUCTWORK LOCATED IN ATTIC TO BE SEALED AND INSULATED TO EXTENT POSSIBLE. 4. PROVIDE VERIFICATION OF DUCT SEALING UTILIZING DUCT BLASTING TEST FOR 10% OF THE UNITS OR AS REQUIRED BY CODE.
TYP. EXTERIOR WALL @ NEW WINDOW	TYP. INTERIOR WALL @ ATTIC/ROOF	RECESSED LIGHT FIX. OR FAN FIX.	JUNCTION BOX @ ATTIC CEILING	EASTON PARKWAY APARTMENTS PAX DEV. - FOUNDATION DEV. GROUP SHEET TITLE & SCALE AIR SEALING DETAILS (NEW CONSTRUCTION) SCALE: 1-1/2" = 1'-0" PROJECT ISSUED FOR: APP SUBMISSION 1/15/2026
TYP. EXTERIOR WALL @ NEW FLOOR	TYP. DWELLING SEP. WALL @ FLOOR	TYPICAL NEW HVAC BULKHEAD	NEW EXHAUST FAN AT ATTIC	DUCT SEALING DETAIL Copyright: Architecture by Design, Inc. These drawings are schematic design documents only. They are intended to convey design intent and further development is necessary for construction documents. These documents should not be used for permitting purposes.
TYP. EXTERIOR WALL @ NEW FLOORING	TYP. DWELLING SEP. WALL @ FOUND.	SHOWER PAN / TUB DETAIL	RIGID/FLEX DUCT CONNECTION SEALING DETAIL @ EXPOSED DUCTS	A23



Town of Easton
Planning and Zoning
14 South Harrison Street, Easton, MD 21601

Easton Staff Development Review Premeeting

Property Information

Address **11 Jowite St, Easton, MD 21601**
Tax Map **104** Grid **EA** Parcel **1367A** Lot
Deed Reference: Liber **573** Folio **363**
Plat Reference: Liber Folio
Base Zoning District **MXW** Historic District Y ☐ N ☒ Planning Redevelopment Y ☒ N ☐
Purpose of Application / Description of Work (Provide additional narrative on separate sheets):

This project aims to renovate the existing Parkway Apartments at the corner of Jowite St and Port St in Easton, Maryland in addition to constructing a new approx 2,500 sf community building. The project also involves resurfacing the parking areas as well as ensuring ADA compliance as shown in the path demarcated in the attached plans.

Owner

Name **Pax Development, LLC & Foundation Development Group, LLC**
Mailing Address **5718 Kennett Pike, Wilmington DE 19807**
Telephone No. Email

Applicant / Agent

Name **Brian Fitzgerald - RAUCH inc.**
Mailing Address **106 N. Harrison St, Easton, MD 21601**
Telephone No. Email

Surveyor / Engineer

Name **Brian Fitzgerald** License No. **46505** Expiration Date **12-15-2027**
Mailing Address **106 N. Harrison St, Easton, MD 21601**
Telephone No. Email

Any modifications during review shall warrant an updated application.

I do hereby solemnly declare and affirm that the information provided by this application and the documents attached hereto accurately represent the conditions of the request and that submission of an incomplete application will be returned for correction prior to processing.

Signature of Applicant or Agent

Date **8/25/2026**

Printed Name of Applicant or Agent

Brian Fitzgerald

For Office Use Only

Easton Staff Development Review Meeting Required Y ☒ N ☐

Easton Staff Development Review Meeting Date 09/10/2026

Completeness Check Date 08/26/2026

2026 - 1826 / ESDR 26 - 15

Revisions/Resubmissions Required Y ☐ N ☐

Resubmission Date

Documents Received Y ☐ N ☐

Staff Determination

Scheduled for September 10, 2026 ESDR M1

Planning Commission Y ☐ N ☐

BOZA Y ☐ N ☐

Historic District Commission Y ☐ N ☐

Resubmission for ESDR Y ☐ N ☐

Staff Signature *Samantha N. Smith*

Date 08/26/2026

Revised 06-2026



TOWN OF EASTON
Department of Planning & Zoning
14 South Harrison Street
P.O. Box 520

Phase 1: Pre-submission ESDR Premeeting

1. Mandatory ESDR Premeeting

An ESDR Premeeting is a required **pre-submission** for any of the following applications:

- o **New Construction:** Site Plans for new multi-family, non-residential, or mixed-use structures of 5,000 square feet gross floor area or greater.
- o **Special Districts:** Site Plans submitted under the Planned Unit Development (PUD), Planned Healthcare District (HC), and the Mixed-Use Waterfront (MXW) zoning districts.
- o **Additions:** Site Plans where a proposed building addition exceeds 5,000 square feet of gross floor area **or** the proposed addition represents equal to or greater than a 10% increase in the gross floor area of the building. The provisions apply cumulatively over time.
- o **Planned Redevelopment Overlay District (PROD):** Sites Plans submitted under the PROD for:
 - 1. Proposed residential projects exceeding four units.
 - 2. Commercial additions exceeding 5,000 square feet or 10% of the existing building footprint.
 - 3. Changes of use to a use that is prohibited within the underlying zoning district (unless the underlying zoning is not R-7A or R-10A).
 - 4. Mixed-use buildings with ground floor commercial and more than one residential unit above.
- o **Subdivisions:** Subdivisions of land resulting in five or more lots, or any subdivision of land that creates a new public or private street.
- o **Special Exceptions:** Any permitted use requiring a special exception review and approval by the Board of Zoning Appeals (BZA).
- o **Legislative Acts:** Zoning Map Amendments (Rezoning) and Annexation Requests.

Director's Discretion: All new non-residential construction, regardless of gross floor area, may require an ESDR Premeeting at the discretion of the Planning and Zoning Director.

2. Meeting Schedule & Logistics

- o **When:** ESDR Premeetings are held on the second and fourth Thursday of each month at 1:00 PM (subject to holiday adjustments).
- o **Duration:** Items are allocated 30 minutes each unless the Planning and Zoning Director determines additional time is necessary due to project scale.

3. Premeeting Objectives & Submission Requirements

- o **Purpose:** To schedule a Premeeting, the applicant must submit a Premeeting Request Form along with conceptual site layouts, descriptive narrative of the proposed project or use, and questions and issues to be discussed at the Premeeting or the applicant's justification for a requested waiver. At the meeting, the applicant will meet with the ESDR team to:
 - 1. Present the general nature and purpose of the proposed development.
 - 2. Discuss submission requirements and application procedures.
 - 3. Identify potential conflicts with substantive zoning, environmental, and infrastructure regulations before investing in an official application submission.
- o **Non-Binding Status:** No matters discussed, nor information provided by staff or the applicant during the ESDR Premeeting, shall be legally binding on either party.

Phase II: Post-Submission Application Review

Once the Premeeting requirement is satisfied and a formal application is officially filed, the following review schedule applies:

1. Technical Agency Review Timeline

- o **Initial Review Window:** The Planning and Zoning Director (or designee) will request Town, or other external agencies, as determined in the Director's discretion, to review the formal application. Reviewing agencies must provide written comments to the Zoning Administrator within **25 days** of receiving the application materials (or as necessary to accommodate state agency review schedules). Special Exception applications shall have written comments provided within **20 days**. Upon completion of the review, any comments received will be forwarded to the applicant.
- o **Process Iteration:** The review process will be repeated for each resubmittal until either:
 - 1. The applicant requests the application move forward to a public hearing (subject to the timeline tracks below); or
 - 2. The Planning and Zoning Director determines the application is complete and forwards it to the Planning Commission for a Public Hearing.
- o **Public Hearing Request Tracks**
 - 1. **Accelerated Tracks (After First Review):** Following the receipt of the *first* round of agency review comments, the applicant **may** request that the application be forwarded to the Planning Commission for a public hearing at any time following the receipt of the first round of agency review comments (i.e., upon the second submission by the applicant). The Director may, at their sole discretion, approve this request after consulting with each reviewing agency and after taking into consideration:
 - a. **Technical Readiness:** Whether first-round agency comments are minor or administrative in nature and do not involve unresolved public health, safety, infrastructure capacity, or fundamental zoning compliance conflicts as determined by the Planning and Zoning Director. Minor and administrative comments include minor drafting or labeling edits, missing signature/ownership blocks, etc.
 - b. **Exclusion of Substantive Issues:** Whether first-round comments avoid critical unresolved issues regarding:
 - i. **Zoning and Density:** Non-compliance with bulk requirements including setbacks and height restrictions; density caps; use regulations; and supplemental standards.

- ii. **Infrastructure & Utilities:** Water/sewer, stormwater management, right-of-way, and traffic.
 - iii. **Environment:** Environmental conflicts (forest conservation, critical area, stream buffers, etc.).
 - c. **Written Submission:** The applicant must submit in writing their request with a justification detailing why they qualify for the Accelerated Track. The applicant shall acknowledge that they understand that staff's recommendation to the Planning Commission will be based on the application's status at the time of staff report compilation. If critical issues remain unresolved, the staff report may carry an official recommendation of **Denial** or **Continuance (Tabling)**.
 - 2. **The Third Submission Rule (Standard Track):** If an application does not qualify for or receive approval for the Accelerated Track, the standard timeline applies. Unless the Planning and Zoning Director and the applicant agree otherwise, the applicant may request that the application be forwarded to the Planning Commission for public hearing at any time following the receipt of the *second* round of review agency comments (i.e., upon the third submission by the applicant).

2. Staff Report

The Planning and Zoning Director (or designee) will compile all agency feedback, provide staff comment, technical analysis, and an official recommendation to the Planning Commission or the Board of Zoning Appeals for their use at public hearings.

ESDR Premeeting Submission Schedule, July – December 2026

Deadline (4pm)	Agenda Set	Meeting Date (1pm)
Wednesday 6/24/2026	Tuesday 6/30/2026	Thursday 7/09/2026
Wednesday 7/08/2026	Tuesday 7/14/2026	Thursday 7/23/2026
Wednesday 7/29/2026	Tuesday 8/04/2026	Thursday 8/13/2026
Wednesday 8/12/2026	Tuesday 8/18/2026	Thursday 8/27/2026
Wednesday 8/26/2026	Tuesday 9/01/2026	Thursday 9/10/2026
Wednesday 9/09/2026	Tuesday 9/15/2026	Thursday 9/24/2026
Wednesday 9/23/2026	Tuesday 9/29/2026	Thursday 10/08/2026
Wednesday 10/07/2026	Tuesday 10/13/2026	Thursday 10/22/2026
Wednesday 10/28/2026	Tuesday 11/03/2026	Thursday 11/12/2026
Tuesday 11/10/2026	Tuesday 11/17/2026	Wednesday 11/25/2026
Tuesday 11/24/2026	Tuesday 12/01/2026	Thursday 12/10/2026
Wednesday 12/09/2026	Tuesday 12/15/2026	Wednesday 12/23/2026